

City of Newport
 Planning Board
 43 Broadway, Newport, RI 02840



Principal Structure(s) Demolition Approval Application

Instructions

Demolition Approval from the Planning Board is required by Chapter 17.86 of the City of Newport Code of Ordinances for structures associated with the principal use of a property outside of a local historic district. The applicant shall submit one digital copy of all required documents, as set forth in Section 17.86.040. The Planning Board's review is to ensure that the proposed demolition is not detrimental to the public health, safety, and general welfare, is consistent with the City's Comprehensive Plan, does not create land with constraints to development, and does not harm the character of the immediate neighborhood or area of the city. The Planning Board will review the design of any new structures planned as a result of the demolition. The Applicant should provide a statement of the reasons for the demolition. It is strongly suggested that all applications request informal preliminary review with the Director of Planning and Economic Development prior to submittal of an application and the commencement of serious design work by consultants.

Any application that lacks sufficient photographic documentation of the structure, a statement describing the reasons for the demolition and the information and documents required by Section 17.86.040 will not be processed. All applications will be reviewed by the Technical Review Committee and the property will be subject to inspection by City officials during application review. Once a hearing date has been provided by the Department of Planning and Economic Development, the applicant is responsible for distributing the required abutter notice outlined in Subsection 17.86.060A.

Basic Information

<u>Subject Property Address on file with City Engineer</u>	<u>Tax Assessor's Plat and Lot</u>
154 Eustis Avenue	23, 148
<u># Street</u>	<u>Plat Lot</u>
<u>Property Owner's Contact Information</u>	
Patrick McCarthy, Executor	154 Eustis Avenue, Newport, RI
<u>Name</u>	<u>Mailing Address</u>
patmccarthyh@yahoo.com	401-855-0883
<u>Email</u>	<u>Phone</u>
<u>Applicant's Contact Information (only complete if different)</u>	
Easton's Pond I, LLC	174 Bellevue Avenue, #204, Newport, RI
<u>Name</u>	<u>Mailing Address</u>
mhoran@horanbuilding.com	401-848-9284
<u>Email</u>	<u>Phone</u>

See Attached

The City has a goal of 35% solid waste diversion. Please list the percent of debris from the property that will be reused or recycled.

Property owner's signature authorizing submission of this application and certifying under possible penalty of perjury under the laws of this jurisdiction that the preceding information is true and correct.

Patrick F McCarthy Jr Digitally signed by Patrick F McCarthy Jr
Date: 2020.08.20 23:03:38 -0400

Signature of Property Owner

Please provide contact information for any attorneys and/or design consultants retained. For properties with multiple owners, complete one form for each owner. For demolitions on multiple properties, complete one form for each property.

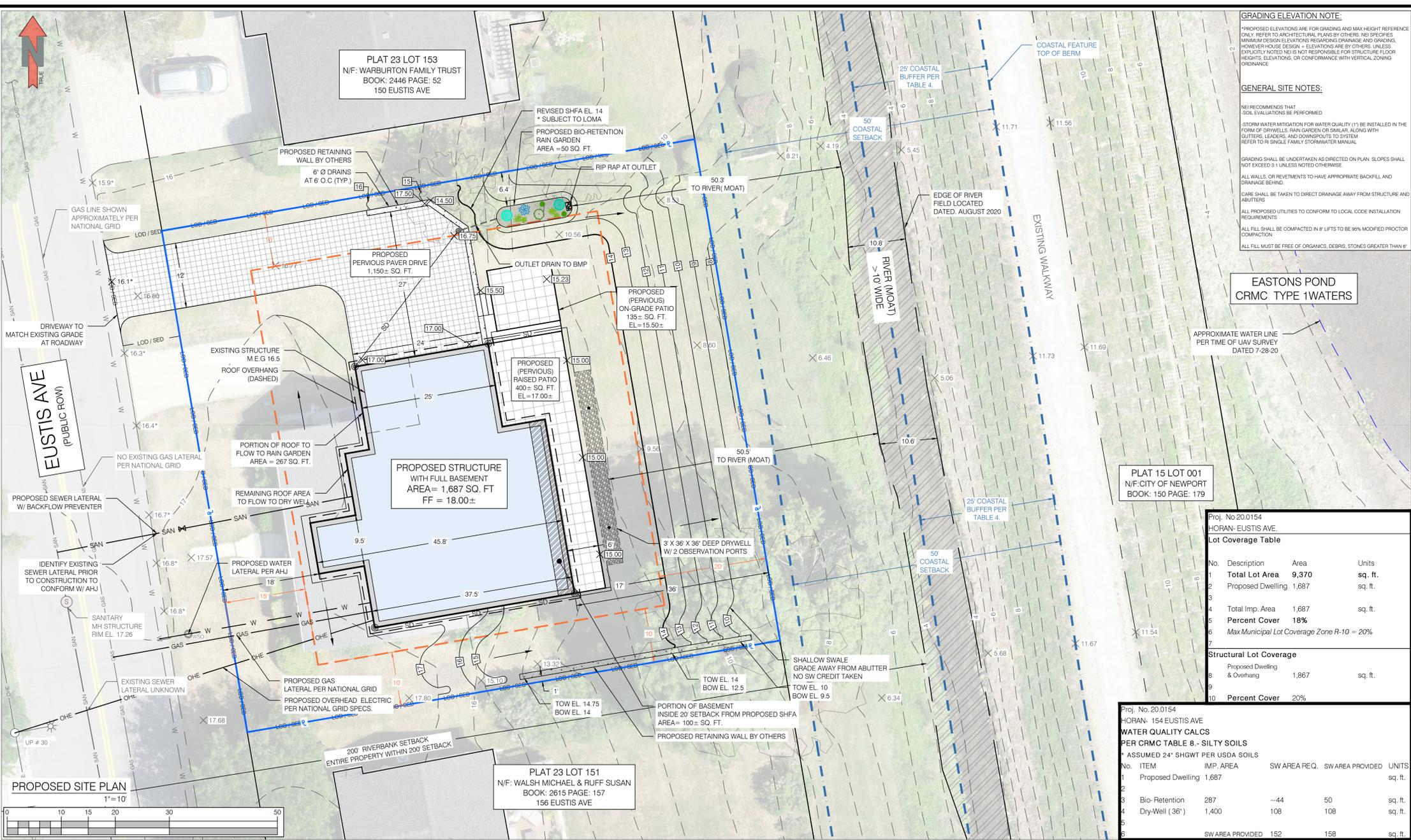
ATTACHMENT TO DEMOLITION APPLICATION

Concrete will be recycled as road base material at a local facility with crushing capability. Metals, plastic and wood will be delivered to a waste management facility, to be sorted and picked by machine, magnets or laborers to separate and recycle any reusable material.





N:\PROJECTS\20.0154 - HORAN (EUSTIS AVE)\CIVIL SITE DESIGN\20.0154 - HORAN SITE PLAN - STANDARD\20.0154 - HORAN SITE PLAN - REV.BLD - STANDARD.dwg 8/19/2020 5:21 PM



GRADING ELEVATION NOTE:
 PROPOSED ELEVATIONS ARE FOR GRADING AND MAX HEIGHT REFERENCE ONLY. REFER TO ARCHITECTURAL PLANS BY OTHERS, NEI SPECIFIC MINIMUM DESIGN ELEVATIONS REGARDING DRAINAGE AND GRADING. EXPLICITLY NOTED NEI IS NOT RESPONSIBLE FOR STRUCTURE FLOOR HEIGHTS, ELEVATIONS, OR CONFORMANCE WITH VERTICAL ZONING ORDINANCE.

GENERAL SITE NOTES:
 NEI RECOMMENDS THAT SOIL EVALUATIONS BE PERFORMED.
 STORM WATER MITIGATION FOR WATER QUALITY (WQ) BE INSTALLED IN THE FORM OF DRYWELLS, RAIN GARDENS OR DRUMS ALONG WITH GUTTERS, LEADERS, AND DOWNSPOUTS TO SYSTEM REFER TO SINGLE FAMILY STORMWATER MANUAL.
 GRADING SHALL BE UNDERTAKEN AS DIRECTED ON PLAN. SLOPES SHALL NOT EXCEED 3:1 UNLESS NOTED OTHERWISE.
 ALL WALLS, OR RETEMENTS TO HAVE APPROPRIATE BACKFILL AND DRAINAGE BEHIND.
 CARE SHALL BE TAKEN TO DIRECT DRAINAGE AWAY FROM STRUCTURE AND ADJUTERS.
 ALL PROPOSED UTILITIES TO CONFORM TO LOCAL CODE INSTALLATION REQUIREMENTS.
 ALL FILL SHALL BE COMPACTED IN 8" LIFTS TO BE 95% MODIFIED PROCTOR COMPACTION.
 ALL FILL MUST BE FREE OF ORGANICS, DEBRIS, STONES GREATER THAN 6"

BENCHMARK NOTE:
 NEI WILL ALWAYS PROVIDE A MINIMUM OF TWO SITE BENCHMARKS. CONTRACTOR TO VERIFY ALL BENCHMARKS EXIST PRIOR TO CONSTRUCTION. ELEVATIONS OF ALL BENCHMARKS TO BE SHOT IN FIELD WITH SUITABLE EQUIPMENT AND DIFFERENTIAL TO BE VERIFIED. IF VERTICAL DIFFERENTIAL EXCEEDS 0.05' IT SHALL BE IMMEDIATELY REPORTED TO NEI. DIFFERENTIAL IN EXCESS OF 0.05' INDICATES THAT BENCHMARKS MAY HAVE BEEN DISTURBED AND ARE NOT SUITABLE FOR USE.

SURVEY NOTES:
 1. ZONING INFORMATION SHOW FROM RECORD INFORMATION. MAPS AND / OR GIS. ZONING DATA MAY VARY BASED ON USE, LOT SIZE, ORIENTATION AND OTHER FACTORS AND IS SHOWN FOR REFERENCE INFORMATION ONLY.
 2. ZONING DATA MUST BE CONFIRMED WITH ZONING OFFICIAL AND / OR LEGAL COUNSEL FOR USE IN DESIGN OR PERMITTING.
 3. COORDINATE SYSTEM IS R1800 / NAVD 88.
 4. TOPOGRAPHY IS MIX OF ON GROUND SHOTS, RECORD DATA AND UAV DATA.
 5. ALL PROPOSED ITEMS MUST BE LAID OUT BY REGISTERED SURVEYOR AS NOTED.
 6. PLAN IS NOT AS-BUILT UTILITY PLAN.
 7. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT OF PROBATE SEARCH, AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 8. LOCATION OF SUBSURFACE MAINS, SURFACE FEATURES, AND LATERALS ARE OBTAINED FROM CONTRACTOR TO CALL DIG SAFE AND/OR APPLICABLE UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION. DIG SAFE TEL # 1-800-344-7233 (1-800-DIG-SAFE).
 A. WATER - SURFACE FIELD LOCATED & SUBSURFACE SHOWN PER PLAN REF.
 B. SEWER - SURFACE FEATURES FIELD LOCATED & SUBSURFACE SHOWN PER SURFACE FEATURES/CITY OF NEWPORT & PLAN REF.
 C. GAS - SUBSURFACE SHOWN APPROX. PER NATIONAL GRID.
 D. ELECTRIC - SURFACE & OVERHEAD SHOWN - FIELD LOCATED.
 E. STORM DRAIN - NO STORM DRAIN IN PROJECT AREA.
 F. ALL UTILITIES DEPICTED AT ASCE QUALITY LEVEL D.
 9. ALL ELEVATIONS WITH * PER UAV DATA.
 10. FEMA LOMA-F WILL BE REQUIRED.

NEI
Narragansett
Engineering Inc.
 Civil - Survey Structural Environmental Design
 3102 East Main Road, Portsmouth RI 02871
 Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
PROPOSED SITE PLAN
HORAN BUILDING COMPANY

Mark Horan - President
 Horan Building Company
 114 Bellevue Ave, Suite 204
 Newport, RI 02840
 C: 401-848-9284
 C: 401-265-6475
 E: mhoran@horanbuilding.com

Property Record
 154 Eustis Ave, Newport, RI 02840
 Plat: 23, Lot: 148
 Zone: R10A, Area: 0.22 Acres
 N/F: McCarthy Elizabeth C Heirs of (per assessors)**
 Year Built: 1957

Proj. No. 20.0154
 HORAN - EUSTIS AVE.

Lot Coverage Table

No.	Description	Area	Units
1	Total Lot Area	9,370	sq. ft.
2	Proposed Dwelling	1,687	sq. ft.
3			
4	Total Imp. Area	1,687	sq. ft.
5	Percent Cover	18%	
6	Max Municipal Lot Coverage Zone R-10 = 20%		

Structural Lot Coverage

Proposed Dwelling & Overhang	1,687	sq. ft.
Percent Cover	20%	

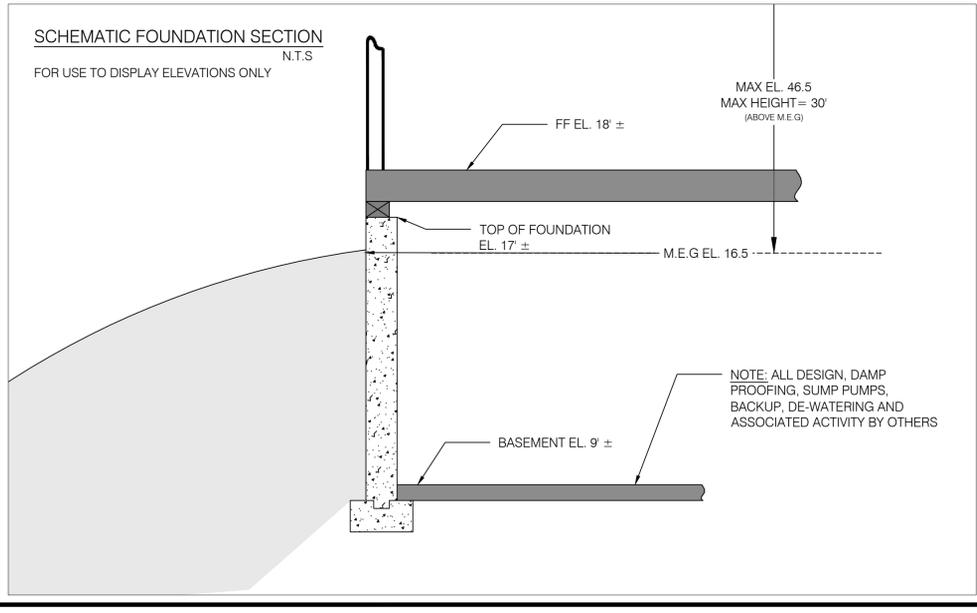
Proj. No. 20.0154
 HORAN - 154 EUSTIS AVE

WATER QUALITY CALCS
PER CRMC TABLE 8 - SILTY SOILS
 * ASSUMED 24" SHGWT PER USDA SOILS

No.	ITEM	IMP. AREA	SW AREA REQ.	SW AREA PROVIDED	UNITS
1	Proposed Dwelling	1,687			sq. ft.
2					
3	Bio-Retention	287	~44	50	sq. ft.
4	Dry-Well (36")	1,400	108	108	sq. ft.
5					
6	SW AREA PROVIDED		152	158	sq. ft.

LEGEND

	BRUSH LINE (APPROXIMATE)
	DIMENSION - EXISTING
	DIMENSION - PLAN / DEED
	DIMENSION - PROPOSED
	DIMENSION - SURVEY
	EDGE OF PAVEMENT - EXISTING
	EDGE OF PAVEMENT - PROPOSED
	ELECTRIC - OVERHEAD (OHE)
	ELECTRIC, TELEPHONE, CABLE (ETC)
	ELECTRIC - UNDERGROUND (UGE)
	FENCE - METAL
	FENCE - WOOD
	FLOW ARROWS
	GAS (G)
	GRADE CONTOUR - EXISTING
	GRADE CONTOUR - PROPOSED
	HIGH VISIBILITY FENCE (HVF)
	LIMIT OF DISTURBANCE
	LOD / SED
	PROPERTY LINE - ABUTTING
	PROPERTY LINE - EXISTING
	PROPERTY LINE - PROPOSED
	SANITARY SEWER (S)
	SEDIMENT CONTROL
	SETBACKS
	STONE WALL
	STORM DRAIN (SD)
	SUBDIVISION LINE - EXISTING
	WATER
	WETLAND LIMIT
	FLOW ARROW
	CATCH BASIN
	DRILL HOLE
	ELECTRIC BOX (ETC)
	FIRE HYDRANT
	GATE VALVE
	GRANITE BOUND, EXISTING
	LOW WATER LINE
	LIMIT OF DISTURBANCE MARKER
	MANHOLE (MH-TYPE)
	REBAR / STEEL PIPE FOUND
	SPOT GRADE - EXISTING
	SPOT GRADE - PROPOSED
	STRUCTURE, EXISTING
	STRUCTURE, PROPOSED
	SURVEY MONUMENT TO BE SET
	SURVEY MARKER TO BE SET
	TREE
	UTILITY POLE
	WATER SHUT OFF
	WETLAND FLAG LOCATION
	GROUND CONTROL POINT
	SOIL EVALUATION



UNMANNED AERIAL VEHICLE (UAV) NOTES:

- THIS PLAN IS BASED ON A PRIVATE UAV FLIGHT PROVIDED BY NARRAGANSETT ENGINEERING INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THE UAV FLIGHT TOOK PLACE ON JULY 29, 2020. RMS ERROR OF GROUND CONTROL POINTS (COMPUTED) : .054'. IMAGES WERE TAKEN AT 1500'. ABOVE GROUND LEVEL. PIXEL SIZE IS 0.008' EXPECTED VERTICAL TOLERANCE (RMS ERROR, Z .002)
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN. ELEVATIONS WERE COMPUTED FROM A PRIVATE UAV FLIGHT USING PHOTOGRAMMETRY SOFTWARE AND TESTED AGAINST FOUR GROUND CONTROL POINTS WITH AN AVERAGE VERTICAL ACCURACY OF .08 ft. THERE MAY BE ANOMALIES IN THE DATA AND SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- ORTHOGRAPHY PHOTO DEVELOPED BY DATA AND PICTURES COLLECTED BY THE UAV TO ACCURATELY INTERPOLATE AND DEPICT THE SITE.
- UAV FLOWN BY FAA CERTIFIED PILOT AND WAS PROPERLY INSURED DURING FLIGHT.

PROJECT # DATE DRAWN CHECK

20.0154	8-13-20	LD	NKH
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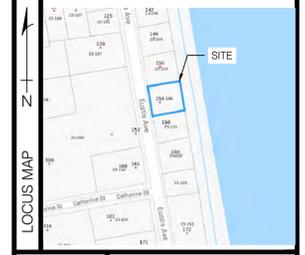
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INTERNAL REVISION:
 08-18-20. REVISED BUILDING FOOTPRINT PER CONCEPT ARCH PLANS.

REFERENCE CLASS 1 LIMITED CONTENT BOUNDARY SURVEY PLAN PREPARED BY NARRAGANSETT ENGINEERING INC. DATED 8-13-20 FOR DETAILED PROPERTY LINE INFORMATION

DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI.



SCALE
 1" = 10'

C-100
 PLAT 23 LOT 148

TJI - 11/18/2019 - ADDED THIS INTERNAL REVISION AREA TO TITLE BLOCK

N:\PROJECTS\20.0154 - HORAN (EUSTIS AVE)\CIVIL SITE DESIGN\20.0154 - HORAN SITE PLAN_REV BLD.DWG C-101 DETAILS NEI-Standard.dwg 8/19/2020 SS

GENERAL NOTES:

- THE STATE OF RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF AS FULLY AND COMPLETELY AS IF ATTACHED HERETO. ALL WORK SHALL CONFORM TO RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION 2004 EDITION OR LATEST REVISION. THE 2004 EDITION OF THE STANDARD SPECIFICATION MAY BE OBTAINED AT THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO APPLY FOR AND OBTAIN ANY AND ALL NECESSARY PERMITS, PAY ALL FEES AND POST ALL BONDS ASSOCIATED WITH THE SAME, AND COORDINATE WITH ARCHITECT OR ENGINEER AS NECESSARY
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SAFETY OF THE JOB SITE. THE CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AND/OR BARRIERS AROUND ANY EXPOSED EXCAVATED AREAS IN ACCORDANCE WITH OSHA STANDARDS.
- IN THE CASE THAT ANY DEVIATION / ALTERATION / OR IMPROVEMENT FROM THE APPROVED PLANS IS NECESSARY THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE ENGINEER AND OWNER PRIOR TO OCCURRENCE OF DEVIATION
- ALL WORK SHALL BE LIMITED TO THE AREAS WITHIN THE LIMIT OF DISTURBANCE DISPLAYED ON THESE PLANS OR PROPERTY LINE IF LIMIT OF DISTURBANCE IS UNCLEAR. ANY AREA DISTURBED OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL BE REPAIRED AND RESTORED TO ITS ORIGINAL CONDITION AT NO COST TO THE OWNER OR ENGINEER, AND PERFORMED TO THE ENGINEERS SATISFACTION
- ALL SITE WORK SHALL MEET OR EXCEED THE SITE WORK SPECIFICATION SHOWN ON THESE PLANS AND/OR ACCOMPANYING SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING IF ANY CONFLICTS WITH EXISTING CONDITIONS OR PROPOSED CONDITIONS EXIST. IF ANY CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK THAT WOULD BE AFFECTED
- EXCAVATED ROCK SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED OF UNLESS OTHER ARRANGEMENTS ARE MADE WITH THE OWNER. SUITABLE ROCK MAY BE UTILIZED IN FILL AREAS WITH WRITTEN PERMISSION OF THE OWNERS REPRESENTATIVES
- DEBRIS, ORGANICS AND OTHER UNSUITABLE MATERIALS UNCOVERED DURING THE COURSE OF SITE EXCAVATION SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MAINTAINING THE INTEGRITY OF ALL EXISTING UTILITIES THAT SERVICE THE SITE AND NEIGHBORING AREAS. IF ANY DAMAGE OCCURS TO EXISTING UTILITIES IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PAY ALL COSTS ASSOCIATED WITH REPAIR OF UTILITIES AS DIRECTED BY THE ENGINEER, UTILITY OWNER, OR GOVERNING AGENCY
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR QUANTITY TAKE-OFF IN COMPUTING ANY ESTIMATES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING ALL TEMPORARY SEDIMENTATION AND EROSION CONTROLS.
- THE LOCATION OF EXISTING UTILITIES AS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR. "DIG SAFE" SHALL BE CONTACTED BY THE CONTRACTOR AS PART OF THIS VERIFICATION
- NO EXCAVATION SHALL PROCEED UNTIL UTILITY COMPANIES ARE NOTIFIED IN ADVANCE
- ALL TREE PROTECTION BY OTHERS UNLESS OTHERWISE NOTED
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED AREAS WITH APPROPRIATE SEED MIXTURES

GRADING AND UTILITIES NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT THE PROPOSED WORK SHOWN ON THESE PLANS DO NOT CONFLICT WITH ANY EXISTING CONDITIONS OR OTHER PROPOSED WORK. IF CONFLICTS ARISE, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. NO FIELD ADJUSTMENTS IN THE LOCATION OF SITE ELEMENTS SHALL BE MADE WITHOUT THE ENGINEERS APPROVAL
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH WORK, THE LOCATION, ELEVATION, SIZE AND MATERIAL SHALL BE ACCURATELY DETERMINED BY THE CONTRACTOR IMMEDIATELY AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION. THE CONTRACTOR SHALL NOT CONTINUE WORK ON AFFECTED UTILITIES UNTIL THE CONFLICT IS RESOLVED
- ALL WORK PERFORMED AND ALL MATERIALS FURNISHED SHALL CONFORM WITH THE LINE AND GRADES ON THE PLANS AND SITE WORK SPECIFICATIONS
- AT ALL LOCATIONS WHERE EXISTING CURBING OR PAVEMENT ABUT NEW CONSTRUCTION, THE EDGE OF THE EXISTING CURB OR PAVEMENT SHALL BE SAW CUT TO A CLEAN, SMOOTH EDGE. BLEND NEW PAVEMENT AND CURBS SMOOTHLY INTO EXISTING BY MATCHING LINES, GRADES AND JOINTS
- ALL UTILITY COVERS, GRATES, AND THE LIKE SHALL BE BE FLUSH WITH THE SURROUNDING SURFACE OR PAVEMENT FINISH. RIM ELEVATIONS ARE APPROXIMATE AND FINAL ELEVATIONS ARE TO BE SET FLUSH AND CONSISTENT WITH GRADING
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION OF PRIVATE UTILITIES BY THE UTILITY COMPANY, AS REQUIRED.
- THE CONTRACTOR SHALL PROTECT ALL UNDERGROUND UTILITY FACILITIES FROM EXCESSIVE VEHICULAR LOADING. ANY DAMAGE RESULTING TO THESE FACILITIES SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTORS EXPENSE
- ALL WATER WORKS SHALL HAVE 5 FEET OF COVER
- GAS, ELECTRIC, AND COMMUNICATIONS ROUTING ARE SUBJECT TO REVIEW AND APPROVAL BY UTILITY COMPANY
- DURING CONSTRUCTION CONTRACTOR SHALL PROTECT EXISTING UTILITIES BY PROVIDING TEMPORARY SUPPORTS OR SHEETING AS REQUIRED AT NOT ADDITIONAL COST TO THE OWNER
- EXCAVATION REQUIRED WITHIN THE PROXIMITY OF EXISTING UTILITY LINES SHALL BE DONE BY HAND. CONTRACTOR SHALL REPAIR ANY DAMAGE TO EXISTING UTILITY LINE OR STRUCTURES INCURRED DURING CONSTRUCTION OPERATION AT NO COST TO THE OWNER
- PITCH EVENLY BETWEEN ALL SPOT GRADES.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY, ROCKS, DEBRIS, ORGANICS, OR THE LIKE UNCOVERED IN THE COURSE OF WORK

UAV SURFACE TOLERANCE TEST- HORAN- EUSTIS AVE.

POINT #	DESCRIPTION	SURVEYED EL.	SURFACE EL.	VERTICAL DIFFERENCE	HORIZONTAL DIFFERENCE
45	SAMH.2	17.26	17.23	0.03	0.07
49	GCP.10	17.57	17.52	0.05	0.02
74	W.DECK.1	15.26	15.200	0.06	0.1
108	GCPA.1	8.59	8.540	0.05	0.08
40	SAMH.1	20.10	20.00	0.1	0.09
38	WGV.2	19.43	19.49	-0.06	0.11
			Std. Dev.	0.053	0.032
			Root Mean Square Error	0.152	0.205

PER NFIP * ENSURING THAT STRUCTURES BUILT ON FILL IN OR NEAR SPECIAL FLOOD HAZARD AREAS ARE REASONABLY SAFE FROM FLOODING*

SIMPLIFIED APPROACH

DESIGN REQUIREMENTS

IF, FOR A BUILDING AND BUILDING SITE, ALL THE REQUIREMENTS LISTED BELOW ARE MET (SEE FIGURE 10), THE BUILDING IS REASONABLY SAFE FROM FLOODING. IF ALL OF THESE REQUIREMENTS ARE NOT MET, THE MORE DETAILED ANALYSIS DESCRIBED UNDER ENGINEERED BASEMENT OPTION, ON PAGE 19 OF THIS BULLETIN, SHOULD BE PERFORMED TO DETERMINE WHETHER THE BUILDING IS REASONABLY SAFE FROM FLOODING.

THE GROUND SURFACE AROUND THE BUILDING AND WITHIN A DEFINED SETBACK DISTANCE FROM THE EDGE OF THE SFHA (SEE NEXT ITEM) MUST BE AT OR ABOVE THE BFE.

THE SETBACK IS THE DISTANCE FROM THE EDGE OF THE SFHA TO THE NEAREST WALL OF THE BASEMENT. THE MINIMUM ALLOWABLE SETBACK DISTANCE IS 20 FEET.

THE GROUND AROUND THE BUILDING MUST BE COMPACTED FILL; THE FILL MATERIAL--OR SOIL OF SIMILAR CLASSIFICATION AND DEGREE OF PERMEABILITY--MUST EXTEND TO AT LEAST 5 FEET BELOW THE BOTTOM OF THE BASEMENT FLOOR SLAB.

THE FILL MATERIAL MUST BE COMPACTED TO AT LEAST 95 PERCENT OF STANDARD LABORATORY MAXIMUM DRY DENSITY (STANDARD PROCTOR), ACCORDING TO ASTM STANDARD D-698. FILL SOILS MUST BE FINE-GRAINED SOILS OF LOW PERMEABILITY, SUCH AS THOSE CLASSIFIED AS CH, CL, SC, OR ML ACCORDING TO ASTM STANDARD D-2487, CLASSIFICATION OF SOILS FOR ENGINEERING PURPOSES. SEE TABLE 1804.2 IN THE 2000 INTERNATIONAL BUILDING CODE (IBC) FOR DESCRIPTIONS OF THESE SOIL TYPES.

THE FILL MATERIAL MUST BE HOMOGENEOUS AND ISOTROPIC; THAT IS, THE SOIL MUST BE ALL OF ONE MATERIAL, AND THE ENGINEERING PROPERTIES MUST BE THE SAME IN ALL DIRECTIONS.

THE ELEVATION OF THE BASEMENT FLOOR SHOULD BE NO MORE THAN 5 FEET BELOW THE BFE.

THERE MUST BE A GRANULAR DRAINAGE LAYER BENEATH THE FLOOR SLAB, AND A 1/4-HORSEPOWER SUMP PUMP WITH A BACKUP POWER SUPPLY MUST BE PROVIDED TO REMOVE THE SEEPAGE FLOW. THE PUMP MUST BE RATED AT FOUR TIMES THE ESTIMATED SEEPAGE RATE AND MUST DISCHARGE ABOVE THE BFE AND AWAY FROM THE BUILDING. THIS ARRANGEMENT IS ESSENTIAL TO PREVENT FLOODING OF THE BASEMENT OR UPLIFT OF THE FLOOR UNDER THE EFFECT OF THE SEEPAGE PRESSURE.

THE DRAINAGE SYSTEM MUST BE EQUIPPED WITH A POSITIVE MEANS OF PREVENTING BACKFLOW.

MODEL BUILDING CODES (SUCH AS THE 2000 INTERNATIONAL RESIDENTIAL CODE) ALSO ADDRESS FOUNDATION DRAINAGE (IRC SECTION R405) AND FOUNDATION WALLS (IRC SECTION R404). MODEL BUILDING CODES GENERALLY ALLOW FOUNDATION DRAINS TO DISCHARGE THROUGH EITHER MECHANICAL MEANS OR GRAVITY DRAINS. IN ADDITION, THERE IS OFTEN AN EXCEPTION TO THE REQUIREMENT FOR DRAINAGE SYSTEMS IN WELL-DRAINED SOILS. HOWEVER, IN OR NEAR FLOODPLAINS, WELL-DRAINED SOILS CAN, IN FACT, HELP CONVEY GROUNDWATER TOWARDS THE BUILDING FOUNDATION. THEREFORE, THIS EXCEPTION SHOULD NOT APPLY IN OR NEAR FLOODPLAINS.

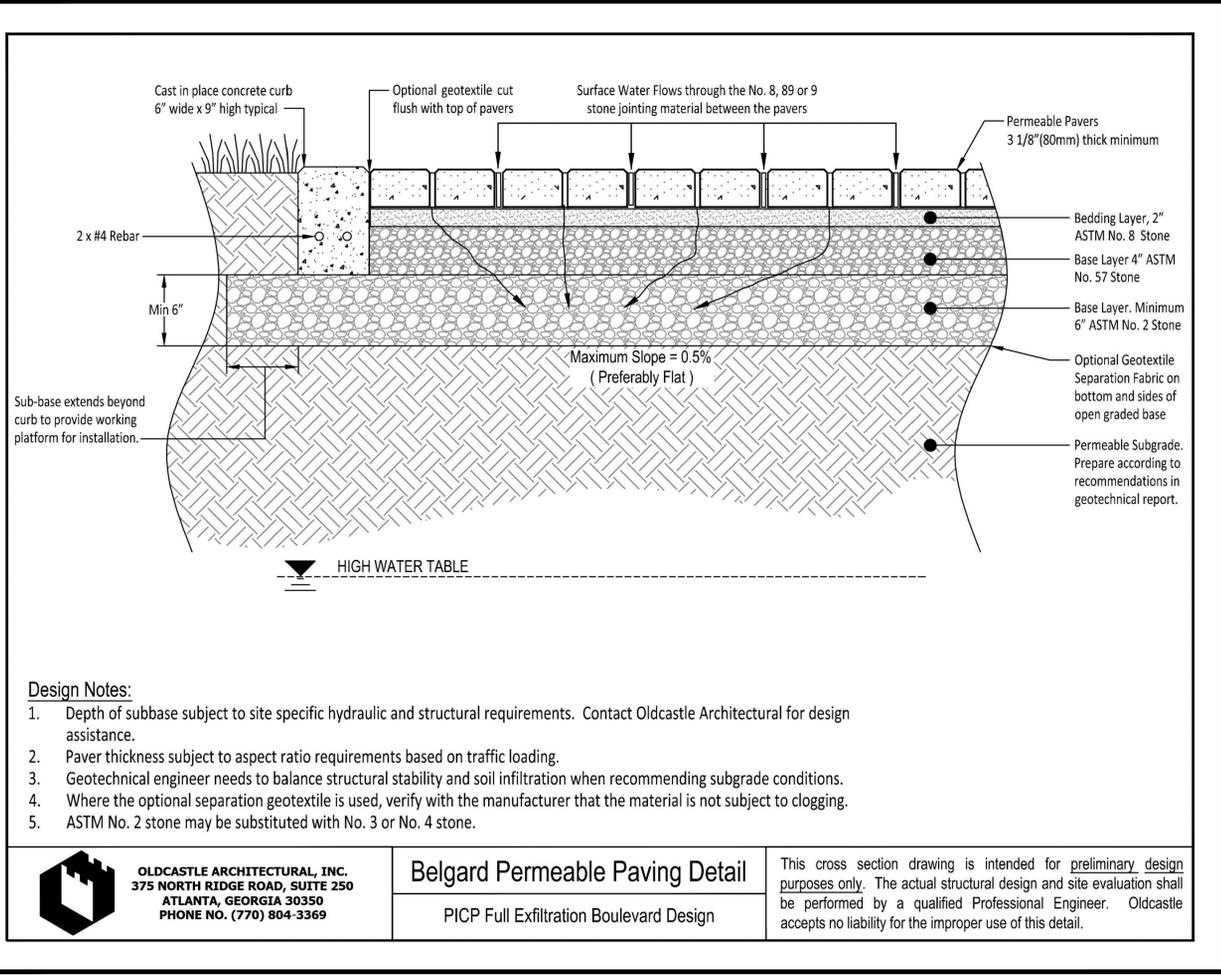
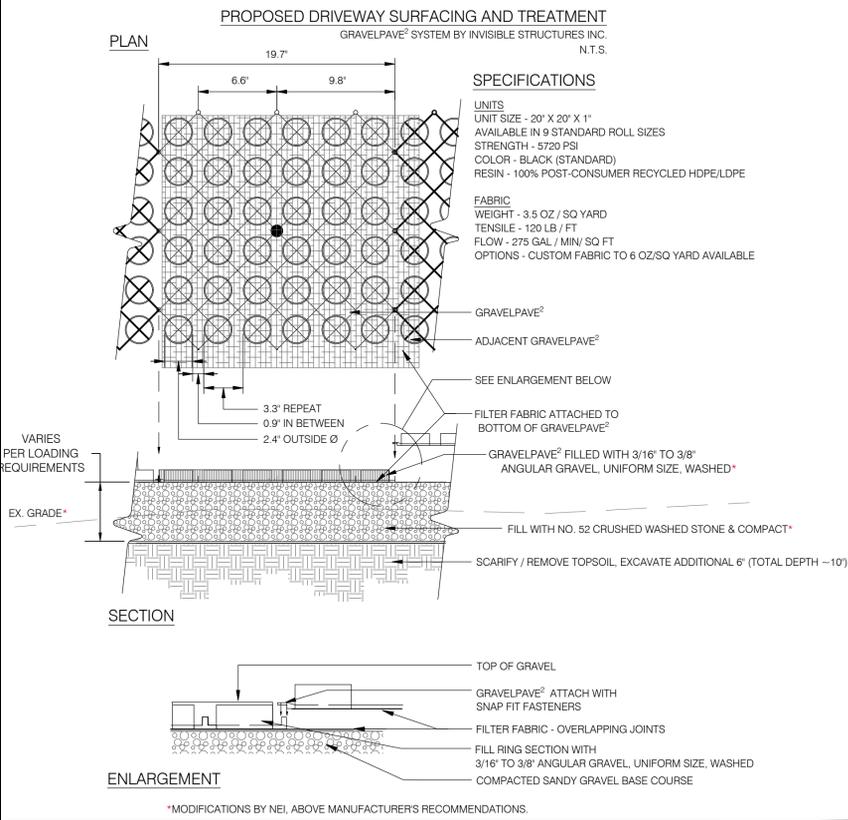
IN SOME CASES IN OR NEAR FLOODPLAINS, EVEN WITH STANDARD DRAINAGE SYSTEMS, HYDROSTATIC PRESSURES FROM GROUNDWATER AGAINST THE BASEMENT CAN RESULT. WHEN A STANDARD DRAINAGE SYSTEM IS UNABLE TO ELIMINATE HYDROSTATIC PRESSURE ON THE FOUNDATION, MODEL BUILDING CODES, INCLUDING THE 2000 INTERNATIONAL RESIDENTIAL CODE (IRC SECTION R404.1.3), REQUIRE THAT THE FOUNDATION BE DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. THE SIMPLIFIED APPROACH CONTAINED IN THIS TECHNICAL BULLETIN ASSUMES NO HYDROSTATIC PRESSURE ON THE FOUNDATION AND SHOULD BE USED ONLY WHEN A STANDARD DRAINAGE SYSTEM, DISCHARGED BY A SUMP PUMP THAT IS EQUIPPED WITH BACKUP POWER AND THAT DISCHARGES ABOVE BFE, IS EMPLOYED. FOR OTHER DRAINAGE SYSTEMS, THE DESIGNER SHOULD USE THE ENGINEERED BASEMENT OPTION PRESENTED ON PAGE 19 OF THIS BULLETIN AND OTHER APPROPRIATE BUILDING CODE REQUIREMENTS.

PER * THE NFIP FLOODPLAIN MANAGEMENT REQUIREMENTS- UNIT 5

44 CFR 65.2(C) "REASONABLY SAFE FROM FLOODING" MEANS THAT BASE FLOOD WATERS WILL NOT INUNDATE THE LAND OR DAMAGE STRUCTURES TO BE REMOVED FROM THE SFHA AND THAT ANY SUBSURFACE WATERS RELATED TO THE BASE FLOOD WILL NOT DAMAGE EXIST- ING OR PROPOSED BUILDINGS."

FEMA HAS ISSUED TECHNICAL BULLETIN 10-01 ENSURING THAT STRUCTURES BUILT ON FILL IN OR NEAR SPECIAL FLOOD HAZARD AREAS ARE REASONABLY SAFE FROM FLOODING TO PROVIDE GUIDANCE ON HOW TO MAKE THE DETERMINATION THAT AN AREA IS "REASONABLY SAFE FROM FLOODING". THE RISK TO BUILDINGS BUILT IN THESE AREAS WILL VARY DEPEND- ING ON SOIL CONDITIONS, THE LOCATION OF THE BUILDING RELATIVE TO THE EDGE OF THE FILL, AND WHETHER THE BUILDING WILL HAVE A BASEMENT BELOW THE BFE.

THE SAFEST METHOD OF CONSTRUCTING A BUILDING ON FILLED LAND REMOVED FROM THE SFHA IS TO ELEVATE THE ENTIRE BUILDING ABOVE BFE. IF BASEMENTS ARE TO BE BUILT IN THESE AREAS, TECHNICAL BULLETIN 10-01 PROVIDES A SIMPLIFIED METHOD FOR DETERMINING WHETHER THOSE BASEMENTS WILL BE "REASONABLY SAFE FROM FLOODING".



OLDCASTLE ARCHITECTURAL, INC.
375 NORTH RIDGE ROAD, SUITE 250
ATLANTA, GEORGIA 30350
PHONE NO. (770) 804-3369

Belgard Permeable Paving Detail
PICP Full Exfiltration Boulevard Design

This cross section drawing is intended for preliminary design purposes only. The actual structural design and site evaluation shall be performed by a qualified Professional Engineer. Oldcastle accepts no liability for the improper use of this detail.



SHEET TITLE
DETAILS AND NOTES

HORAN BUILDING COMPANY

PROJECT #	DATE	DRAWN	CHECK
20.0154	8-5-20	LD	NKH
NO	DATE	REVISIONS/DESCRIPTION	BY

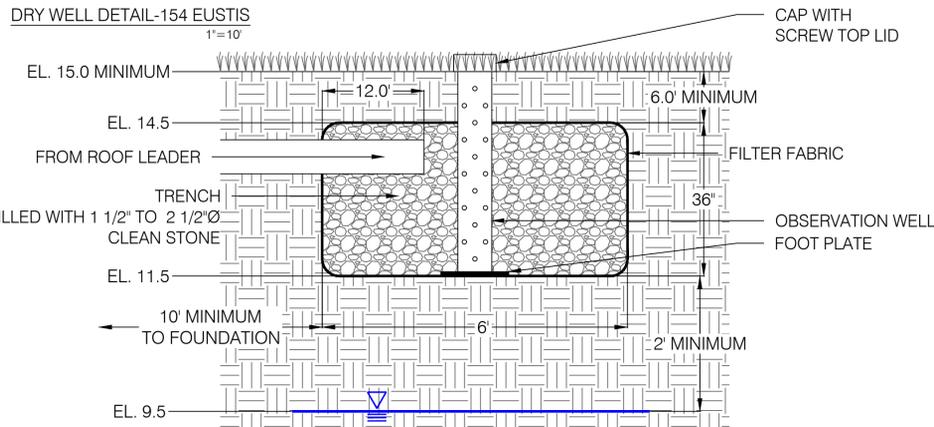
DRAWINGS MUST BE PRINTED IN COLOR TO BE VALID. THIS NOTE SHOULD BE BLUE. IF THIS NOTE IS NOT BLUE, PLEASE REPRINT IN COLOR OR CONTACT NEI



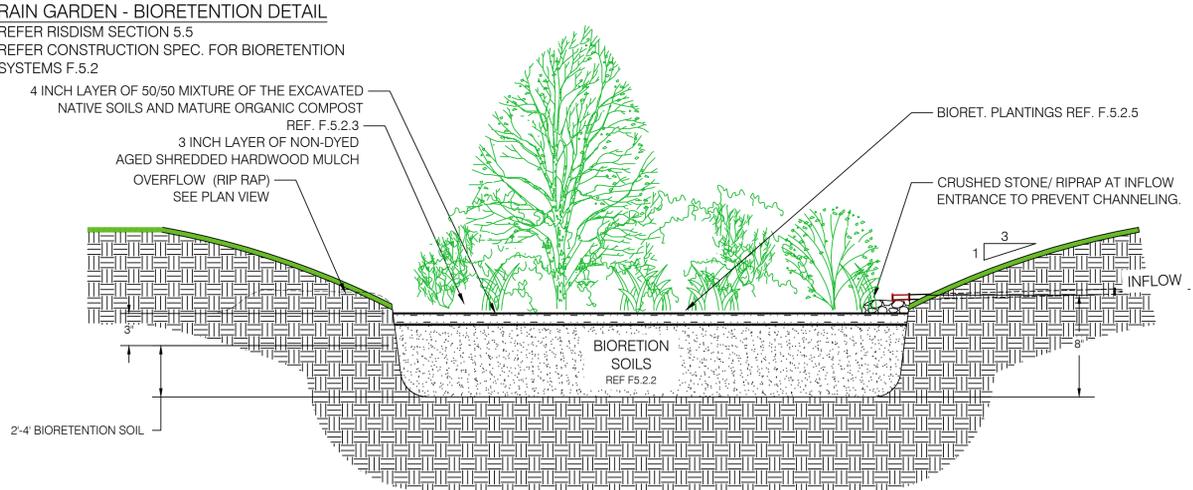
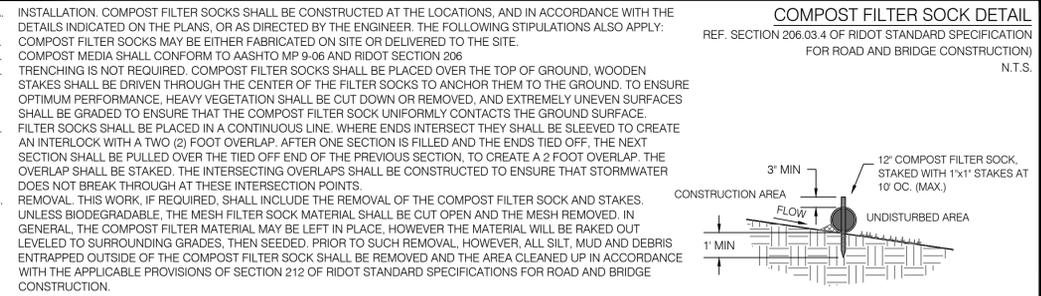
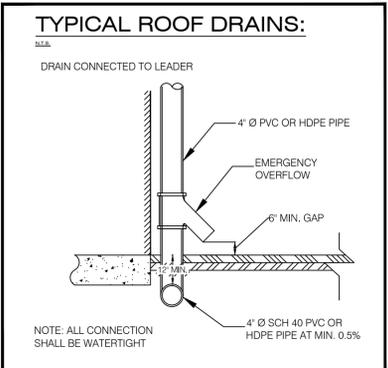
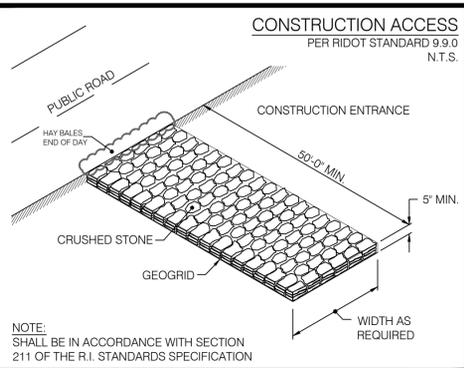
SCALE C-101

TJI - 11/18/2019 - ADDED THIS INTERNAL REVISION AREA TO TITLE BLOCK

N:\PROJECTS\20.0154 - HORAN (EUSTIS AVE)\SITE DESIGN\20.0154 - HORAN SITE PLAN - REV BLD - STANDARD\20.0154 - HORAN SITE PLAN - REV BLD - STANDARD\20.0154 - HORAN SITE PLAN - REV BLD.DWG C-102 DETAILS (154) NEI-SitePlan.dwg, 8/19/2020 SC

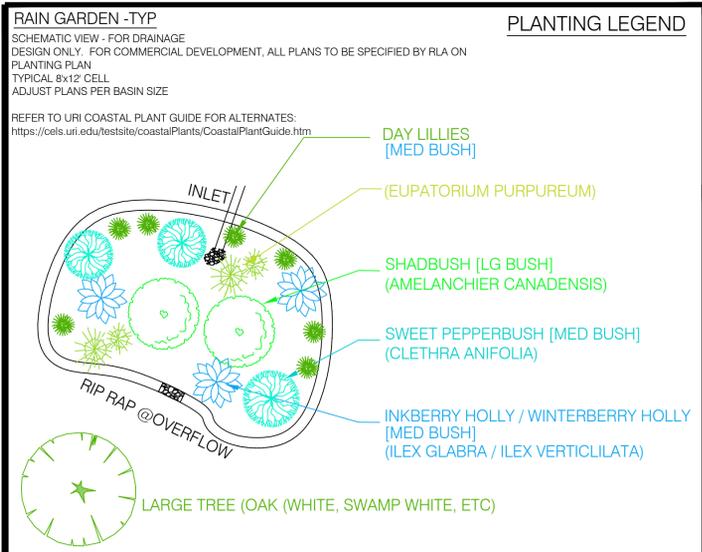
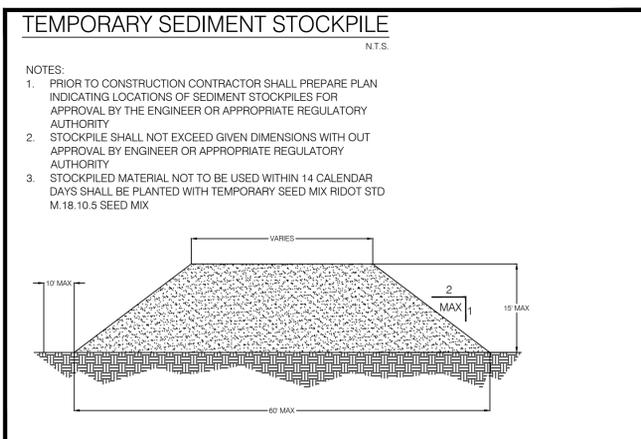


- DRY WELL NOTES:**
1. ASSUMED SHGWT OF 24" FROM USDA WEB SOIL SURVEY
 2. DRY WELL TO BE INSPECTED ANNUALLY AND REPAIRED IF NECESSARY TO ENSURE PROPER DRAINAGE.
 3. DRY WELL CONSTRUCTION PER STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT, SIZING PER TABLE 11.



TYPICAL RAIN GARDEN SECTION
 NEI RECOMMENDS CONSULTING WITH A LOCAL LANDSCAPE ARCHITECT FOR EACH SPECIFIC SITE;
 PLANT SELECTIONS SHOULD BE BASED OFF REQUISITE CRITERIA IN RI COASTAL PLANT GUIDE.
[HTTP://WEB.URI.EDU/CELS/CEOC/COASTALPLANTS/COASTALPLANTGUIDE.HTM](http://web.uri.edu/cels/ceoc/coastalplants/coastalplantguide.htm)

nei-cds.com

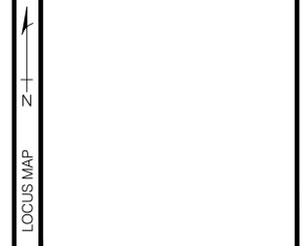


NEI
Narragansett
Engineering Inc.
 Civil - Survey Structural Environmental Design
 3102 East Main Road, Portsmouth RI 02871
 Tel. 401.683.6630 www.nei-cds.com

SHEET TITLE
 DETAILS AND NOTES
 HORAN BUILDING COMPANY

PROJECT #	DATE	DRAWN	CHECK
20.0154	8-5-20	LD	NKH
NO	DATE	REVISIONS/DESCRIPTION	BY

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SCALE
C-102



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Newport, RI 02840
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08.25.2020

HORAN RESIDENCE
154 EUSTIS AVENUE
PROPOSED WEST ELEVATION

A 200



A. TESA
ARCHITECTURE

174 Beilene Avenue, Suite 308
Cape Fear, RI 02804
TEL: 608-2286

08.25.2020

HORAN RESIDENCE
154 EUSTIS AVENUE
PROPOSED SOUTH ELEVATION

201



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08.25.2020

HORAN RESIDENCE
154 EUSTIS AVENUE
PROPOSED EAST ELEVATION

 **202**



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08.25.2020

HORAN RESIDENCE
154 EUSTIS AVENUE
PROPOSED NORTH ELEVATION

A 203