

CORCORAN, PECKHAM, HAYES, LEYS & OLAYNACK, P. C.

ATTORNEYS AND COUNSELORS AT LAW

PATRICK O'N. HAYES, JR.
JOSEPH H. OLAYNACK III
MATTHEW H. LEYS

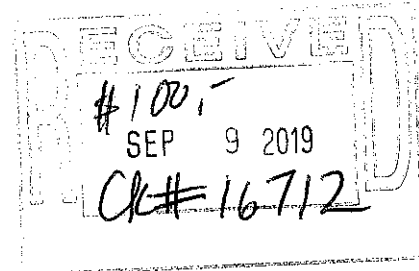
43-B MEMORIAL BOULEVARD
NEWPORT, R. I. 02840
TELEPHONE 401-847-0872
FAX 401-847-5810
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SENIOR COUNSEL
EDWARD B. CORCORAN
WILLIAM W. CORCORAN

OF COUNSEL
WILLIAM J. CORCORAN

September 9, 2019

Mr. Peter Friedrichs
Newport City Hall
43 Broadway
Newport, RI 02840



Re: Minor Subdivision Application; 90 Harrison Avenue (TAP 41, Lot 14)

Dear Peter:

As you know, this office represents Schoolyard Properties, LLC, the owner of the above referenced property. Enclosed please find a completed Minor Subdivision Application relating to the above referenced property (Application B), a set of plans in relation thereto, a municipal lien certificate for the property, a draft of an easement that would apply to the property, and a check in the amount of \$100 for the filing fee. My client requests that preliminary and final approval stages be combined for this application.

Can you please place this application on the next available regular Planning Board meeting agenda, which I understand would be the one for the October 7, 2019 meeting?

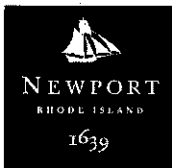
Please feel free to contact me if you have any questions.

Sincerely yours,

Matthew H. Leys

Email: mleys@cphnpt.com

cc: Schoolyard Properties, LLC
Northeast Engineers & Consultants, Inc.



City of Newport

Department of Zoning and Inspections

Planning Division

43 Broadway, Newport, RI 02840

Application B

Application Number: _____

Application Date: 9/9/2019

Application Fee: \$100.00

The undersigned desires to subdivide the property located in the City of Newport, Rhode Island in accordance with the accompanying Plat.

Schoolyard Properties Subdivision

Proposed Subdivision Name

90 Harrison Avenue

Newport, RI 02840

A.P. 41 Lot 14

Property Address

Schoolyard Properties, LLC

19 Brenton Road, Newport RI 02840

Tax Assessor's Plat & Lot

Applicant/Owner's Representative Name

jpicoth@cox.net

Address

401-218-3309

City, State, Zip

Email

Cell Phone

Schoolyard Properties, LLC

19 Brenton Road, Newport RI 02840

Name of Subdivider / Owner / LLC (Provide Proof of Ownership)

jpicoth@cox.net

Address

401-218-3309

City, State, Zip

Email

Cell Phone

2518

183

Deed of property recorded in City Land Evidence
Northeast Engineers & Consultants, Inc.

Volume

55 John Clarke Road, Middletown, RI, 02842

Page

Name of Registered Engineer or Land Surveyor

lyns@northeastengineers.com

Address

401-849-0810

City, State, Zip

Email

Cell Phone

Required Items for Minor Subdivision

Minor Subdivision Contents:

Preliminary

- ☐ One (1) paper and one (1) digital (pdf or CAD) copy of record plat prepared by an engineer or a land surveyor showing the record plat for initial review;
- ☐ Application form; and
- ☐ Non-refundable fee.

Final

- ☐ One (1) paper and one (1) digital (pdf or CAD) copy of record plat prepared by an engineer or a land surveyor showing the record plat for initial review. For recording purposes submit one (1) Mylar copy, four (4) paper copies, and one (1) digital copy of approved plan; and
- ☐ Record plat generated on Mylar (24"x36") at a scale of 1"=50' or larger.

Assessor's Plat Map & Lot Numbers Current Owners Street Address Contact Information	Flood Zone Designation (if applicable)	Zoning District	Present Use of of Property	Proposed Use of of Property	Tax Obligations Met (Yes or No)
Parcel A Plat <u>41</u> Lot <u>14</u> Name: <u>Schoolyard Properties, LLC</u> Address: <u>c/o John D. Picotte, Jr., 19 Brenton Road, Newport, RI 02840</u> Phone: <u>401-218-3309</u> Email: <u>jp Picotte@cox.net</u>		R-40	vacant	5-lot residential	yes
Parcel B Plat _____ Lot _____ Name: _____ Address: _____ Phone: _____ Email: _____					
Parcel C Plat _____ Lot _____ Name: _____ Address: _____ Phone: _____ Email: _____					
Parcel D Plat _____ Lot _____ Name: _____ Address: _____ Phone: _____ Email: _____					
Parcel E Plat _____ Lot _____ Name: _____ Address: _____ Phone: _____ Email: _____					

***NOTE: Please attach a separate sheet if more space is needed.**

MUNICIPAL LIEN CERTIFICATE

REQUESTED BY: JOHN PICOTTE

OWNER: SCHOOLYARD PROPERTIES LLC

PROPERTY LOCATION: 90 HARRISON AVE

ASSESSOR'S PLAT: 41 LOT: 014

REAL ESTATE TAXES

<u>YEAR</u>	<u>ACCOUNT NO.</u>	<u>ANNUAL TAX</u>	<u>BALANCE</u>
<u>2019</u>	<u>R08368</u>	<u>\$15555.70</u>	<u>\$7777.84</u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>

PERSONAL PROPERTY TAXES

<u>YEAR</u>	<u>ACCOUNT NO.</u>	<u>ANNUAL TAX</u>	<u>BALANCE</u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>	<u> </u>

WATER CHARGES

<u>ACCOUNT NO(s):</u>	<u>BALANCE DUE:</u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>
<u> </u>	<u> </u>

SUNDRY CHARGES: **BALANCE DUE:**

SUBSEQUENT OWNER(s)

DATE OF TRANSFER:

TO WHOM TRANSFERRED:

This is to certify that the above is true and correct. Said certification is given in accordance with 44-7-11 of the RIGL, 1956, as of this 6TH day of SEPTEMBER 2019


LAURIE J KENNEY
TAX COLLECTOR
NEWPORT RI 02840

DRAFT

DECLARATION AND RESERVATION OF EASEMENT

SCHOOLYARD PROPERTIES, LLC, a Delaware Limited Liability Company (“Declarant”), the owner of the real estate located at 90 Harrison Avenue, Newport, Rhode Island, further identified as Lot 14 on City of Newport Tax Assessor’s Plat 41 (“the Property”), which is intended to be or has been subdivided into five lots as shown and delineated on that certain Plat entitled “PROPOSED SUBDIVISION PLAN, Project Owner, Schoolyard Properties, LLC, 19 Brenton Road, Newport, RI 02840” dated _____ by Northeast Engineers & Consultants, Inc. (“The Plan”) (individually each subdivision lot shall be referred to as a “Lot” and collectively, the “Lots”), desires and intends to provide for an easement for a sewer line over Lots Three and Four for the benefit of Lots Three, Four and Five, as shown on the Plan.

NOW, THEREFORE, THE DECLARANT, for and on behalf of itself and its successors and assigns, and for its own benefit and the benefit of the future owners of Lots Three, Four and Five as shown on the Plan hereby reserves and declares the following easement (“this Easement”):

An easement for the benefit of Lots Three, Four and Five to: lay, install, maintain, repair, replace and operate a sewer line, together with any necessary fixtures, equipment and appurtenances, under and upon that portion of Lots Three and Four delineated and designated as “PROPOSED 20’ UTILITY EASEMENT” (“the Easement Area”) on the Plan; to connect to any existing sewer lines on Lots Three and Four; and to excavate in the Easement Area for the foregoing purposes. The owners of Lots Three, Four and Five shall equally share the responsibility and cost of maintenance, repair and replacement of any portion of the sewer line, and any necessary fixtures, equipment and appurtenances, that are used in common.

Giving and granting to the owners of Lots Three, Four and Five and their respective agents, servants, contractors, and employees all rights of ingress and egress over and upon the Easement Area for the carrying out of the purposes stated herein and not for any other purposes. Any damage done to Lots Three, Four or Five in connection with carrying out the purposes stated herein shall be promptly repaired, with the cost thereof being born in the same proportion as costs stated above. The owners of Lots Three, Four and Five shall provide each other with reasonable notice to the other(s) before they or their agents, servants, contractors, or employees shall enter onto the land of the other(s).

The owners of Lots Three, Four and Five retain the right to full use and enjoyment of their respective Lots, except as the same may be necessary for the purposes herein granted.

The easements and the covenants herein reserved and declared shall be permanent and binding upon and inure to the benefit of the Declarant and its successors and assigns and shall run with the land.

IN WITNESS WHEREOF, Schoolyard Properties, LLC has hereunto set his hand and seal this _____ day of _____, 2019.

SCHOOLYARD PROPERTIES, LLC

DRAFT

By: John D. Picotte, Jr., in his capacity as trustee of
the John D. Picotte, Jr. Revocable Trust dated
February 20, 2015, Authorized Member

STATE OF _____

COUNTY OF _____

In _____ on the _____ day of _____, 2019, then personally appeared before me the above-named JOHN D. PICOTTE, JR., in his capacity as trustee of the John D. Picotte, Jr. Revocable Trust dated February 20, 2015, personally known by me, or proved to me by satisfactory evidence, to be the person who subscribed the foregoing instrument, and he acknowledged said instrument, and the execution thereof, to be his free act and deed, both individually and in his capacity as an Authorized Member of SCHOOLYARD PROPERTIES, LLC, as aforesaid. Before me,

Notary Public

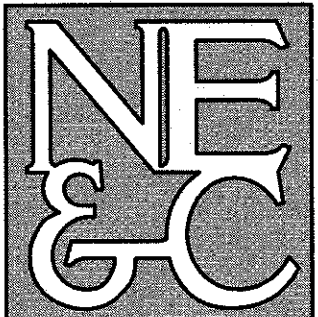
My commission expires: _____

SCHOOLYARD PROPERTIES

RESIDENTIAL SUBDIVISION
A.P. 41 LOT 14
HARRISON AVENUE AND BRENTON ROAD
NEWPORT, RHODE ISLAND

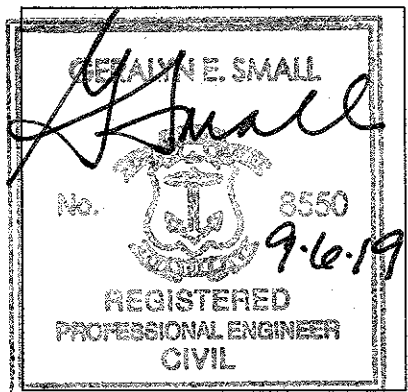
ENGINEER:

NORTHEAST ENGINEERS
& CONSULTANTS, INC.



SITE/CIVIL
LAND PLANNING
WATERFRONT
SURVEYING
GEOTECHNICAL
ENVIRONMENTAL
TRANSPORTATION
STRUCTURAL
MATERIALS TESTING

A KNOWLEDGE CORPORATION
55 JOHN CLARKE ROAD MIDDLETOWN RI 02842
PHONE (401) 849-0810 FAX (401) 845-4169
WWW.NORTHEASTENGINEERS.COM



ENGINEER CERTIFICATION

OWNER:

SCHOOLYARD PROPERTIES LLC
C/O JAY PICOTTE
19 BRENTON ROAD
NEWPORT, RI 02840

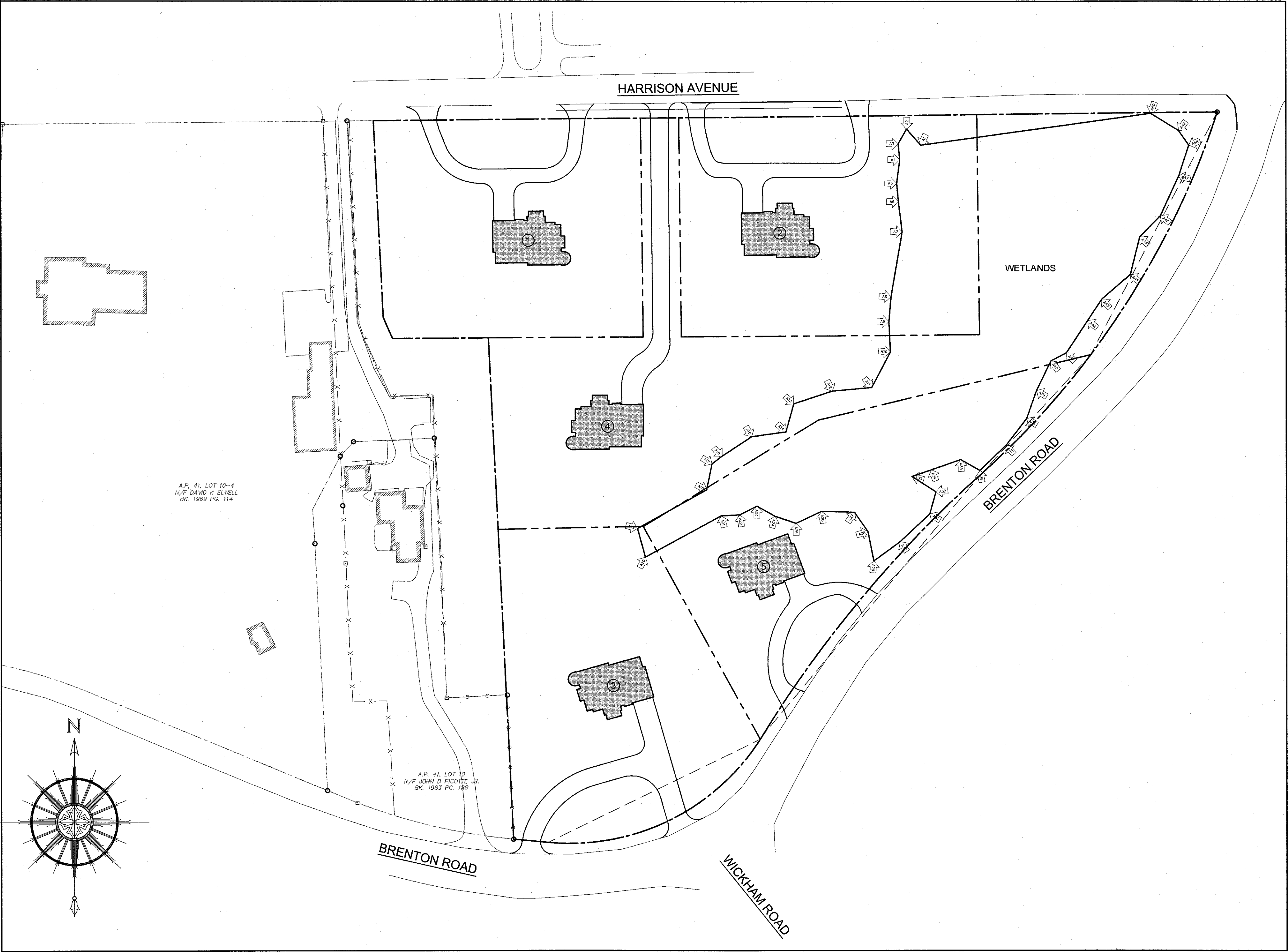
SEPTEMBER 6, 2019 PERMIT SET

PLAN INDEX

SITE/CIVIL ENGINEERING PLANS

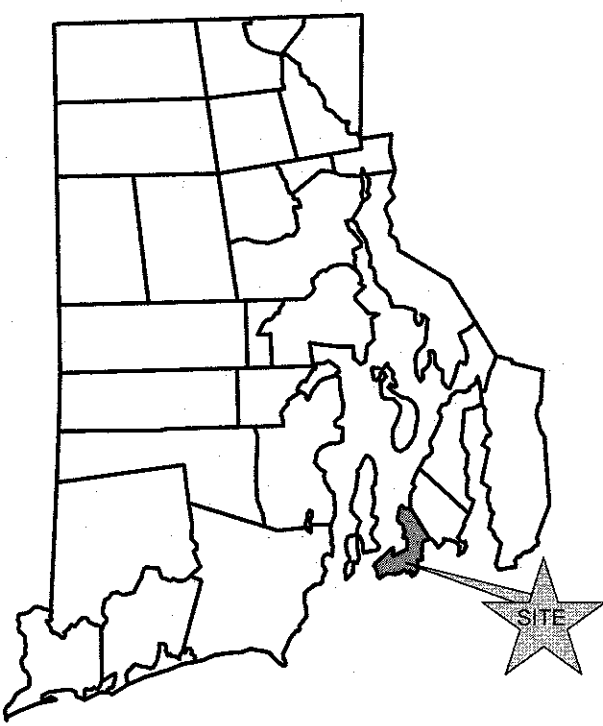
TITLE SHEET
SITE/CIVIL NOTES
EXISTING CONDITIONS
SUBDIVISION PLAN
DRAINAGE AND UTILITY PLAN
CONSTRUCTION GRADING AND SESC PLAN
PROPOSED SITE / CIVIL DETAILS

SHEET 1
SHEET 2
SHEET 3
SHEET 4
SHEET 5
SHEET 6
SHEET 7

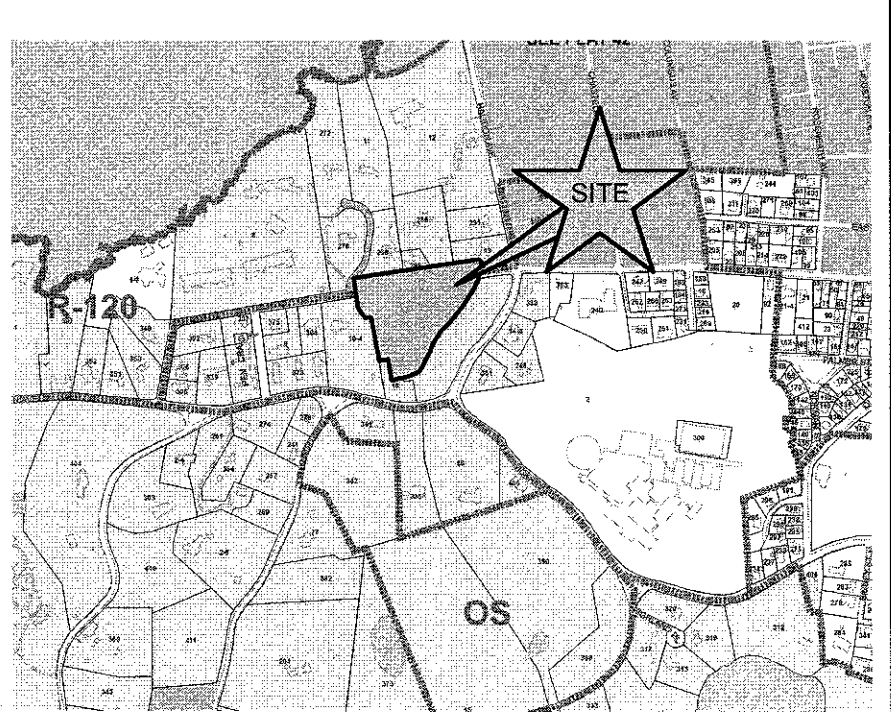


SITE PLAN

SCALE = 1" = 50'



STATE MAP
(NOT TO SCALE)



LOCATION MAP
(NOT TO SCALE)

SUBMISSION AND REVISION SUMMARY

AGENCY OR REVISION	DATE:	COMMENTS:
RIDEM CITY OF NEWPORT	APRIL 13, 2017 SEP 3, 2019	WETLANDS PERMIT PRELIMINARY AND FINAL SUBDIVISION PLAN

GENERAL NOTES

1. PROPERTY LINE SURVEY PERFORMED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. IN SEPTEMBER 2016.
2. EXISTING CONDITIONS, RAZED BUILDINGS, AND WETLANDS TAKEN FROM PLAN ENTITLED, "EXISTING CONDITIONS SITE PLAN, 90 HARRISON AVENUE, ASSESSOR'S MAP 41, PARCEL 14, NEWPORT, RHODE ISLAND", PREPARED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC, DATED JULY 15, 2015.
3. TOPOGRAPHY TAKEN FROM PLAN REFERENCED IN NOTE 2 ABOVE AND SUPPLEMENTED WITH FIELD OBSERVATIONS BY NORTHEAST ENGINEERS & CONSULTANTS, INC. ON SEPTEMBER 22, 2016.
4. ON-SITE FRESHWATER WETLANDS FLAGGED BY NATURAL RESOURCE SERVICES IN AUGUST 2015.
5. ELEVATIONS REFERENCE NAVD83.
6. NORTH ARROW REFERENCES MAGNETIC NORTH (SEPT. 2016).
7. EXISTING SOILS SCALED FROM NATURAL RESOURCE CONSERVATION SOIL SURVEY AND SHOULD BE CONSIDERED APPROXIMATE.
8. THE SITE IS NOT LOCATED WITHIN ANY KNOWN FLOOD HAZARD ZONES AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 44050C0177J, DATED SEPTEMBER 4, 2013.
9. SOIL CHARACTERISTICS OF THE SITE ARE CATEGORY "PMA" AND "PHB", PITTS TOWN SILT LOAM AND "CAC", CANTON AND CHARLTON PER THE NATURAL RESOURCE CONSERVATION SOIL SURVEY. THESE ARE TYPE "C" AND "B" HYDROLOGIC SOILS, RESPECTIVELY.
10. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT AND DETAILS WITH THEIR RELATIONSHIP TO THE EXISTING SITE SURVEY. CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING WORK.
11. THE UNDERGROUND UTILITIES KNOWN TO EXIST BY THE ENGINEER FROM HIS SEARCH OF RECORDS ARE INDICATED ON THE PLANS. CONTRACTOR SHALL VERIFY THE LOCATIONS AND DEPTHS OF THE FACILITIES AND EXERCISE PROPER CARE IN EXCAVATING IN THE AREA. ALL DAMAGED PORTIONS SHALL BE REPLACED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE AFFECTED UTILITY COMPANY AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PERSONAL INJURY RESULTING FROM CONTACT WITH EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. WHEREVER CONNECTION OF NEW UTILITIES TO EXISTING UTILITIES ARE SHOWN ON THE PLANS, THE CONTRACTOR SHALL EXPOSE THE EXISTING LINES AT THE PROPOSED CONNECTIONS TO VERIFY THEIR LOCATIONS AND DEPTHS PRIOR TO EXCAVATION FOR NEW LINES. (PLEASE CALL DIG SAFE PRIOR TO CONSTRUCTION AT 1-888-DIG-SAFE AND ALL LOCAL UTILITY COMPANIES.)
12. THE CONTRACTOR SHALL NOTIFY ALL AGENCIES TO VERIFY THE ACTUAL LOCATIONS OF ALL UTILITIES IN THE PROJECT AREA PRIOR TO EXCAVATING.
13. THE CONTRACTOR SHALL RESTORE TO THEIR ORIGINAL CONDITION OR BETTER, ALL IMPROVEMENTS DAMAGED AS A RESULT OF THE CONSTRUCTION, INCLUDING PAVEMENTS, EMBANKMENTS, CURBS, SIGNS, LANDSCAPING, STRUCTURES, UTILITIES, WALLS, FENCES, ETC. UNLESS PROVIDED FOR SPECIFICALLY IN THE PROPOSAL.
14. CONTRACTOR SHALL EXERCISE EXTREME CAUTION TO PRESERVE STREET MONUMENTS.
15. STREET MONUMENTS THAT ARE DISTURBED SHALL BE RESTORED UNDER THE LICENSED LAND SURVEYOR'S DIRECTION. ANY NEW DATA SUCH AS ELEVATIONS SHALL BE CERTIFIED BY THE SURVEYOR, AND SUBMITTED TO THE CITY OF NEWPORT.
16. DEVIATIONS OR CHANGES FROM THESE PLANS WILL NOT BE ALLOWED UNLESS APPROVED BY THE PROJECT ENGINEER, APPROPRIATE AGENCY AND OWNER.
17. RELOCATION OF ANY UTILITIES SHALL BE AT THE OWNERS EXPENSE AND BE COMPLETED WITH THE UTILITY WORK. THE OWNER SHALL BE NOTIFIED AS TO THE RELOCATION REQUIRED PRIOR TO THE START OF CONSTRUCTION.
18. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE AT ALL TIMES.
19. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF THE CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT TO BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM "THE SOLE NEGLIGENCE OF THE OWNER OR PROJECT ENGINEER."
20. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES LATEST EDITION INCLUDING ALL REVISIONS.
21. AT THE TIME OF DEVELOPMENT OF EACH LOT THE DEVELOPER WILL BE REQUIRED TO COMPLY WITH ALL APPLICABLE PROVISIONS OF THE CITY SOIL EROSION & SEDIMENT CONTROL ORDINANCE (CITY CODE CHAPTER 15.26), INCLUDING COMPLIANCE WITH THE APPROVED STORM WATER MANAGEMENT PLAN FOR THE SUBDIVISION. A NOTE TO THIS EFFECT MUST BE ADDED TO THE FINAL PLAN PRIOR TO RECORDING.

GRADING NOTES

1. ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SURFACE WATERS FROM DAMAGING THE CUT FACE OF AN EXCAVATION OR THE SLOPED SURFACES OF A FILL. FURTHERMORE, ADEQUATE PROVISIONS SHALL BE MADE TO PREVENT SEDIMENT RUNOFF FROM LEAVING THE SITE.
2. ANY GRADED AREAS SHALL BE SODDED OR PLANTED IMMEDIATELY AFTER THE GRUBBING WORK HAS BEEN COMPLETED.
3. THE CITY SHALL BE INFORMED OF THE LOCATION OF THE DISPOSAL SITE, IF ANY, FOR THE PROJECT.
4. NO GRADING WORK SHALL BE DONE ON SATURDAYS, SUNDAYS AND HOLIDAYS AT ANY TIME WITHOUT PRIOR NOTICE TO THE CITY, PROVIDED SUCH GRADING WORK IS ALSO IN CONFORMANCE WITH THE COMMUNITY NOISE CONTROL STANDARDS.
5. ALL GRADING OPERATIONS SHALL BE PERFORMED IN CONFORMANCE WITH THE APPLICABLE PROVISIONS OF THE DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AND THE CITY.
6. WHERE APPLICABLE AND FEASIBLE THE MEASURES TO CONTROL EROSION AND OTHER POLLUTANTS SHALL BE IN PLACE BEFORE GRADING WORK IS INITIATED.
7. TEMPORARY EROSION CONTROLS SHALL NOT BE REMOVED BEFORE PERMANENT EROSION CONTROLS ARE IN-PLACE AND ESTABLISHED.
8. IF THE GRADING WORK INVOLVES CONTAMINATED SOIL, THEN ALL GRADING WORK SHALL BE DONE IN CONFORMANCE WITH APPLICABLE STATE AND FEDERAL REQUIREMENTS.
9. NONCOMPLIANCE TO ANY OF THE ABOVE REQUIREMENTS SHALL MEAN IMMEDIATE SUSPENSION OF ALL WORK AND REMEDIAL WORK SHALL COMMENCE IMMEDIATELY. ALL COSTS INCURRED SHALL BE STARTED TO THE VIOLATOR. FURTHERMORE, VIOLATORS SHALL BE SUBJECTED TO ADMINISTRATIVE, CIVIL AND/OR CRIMINAL PENALTIES.

UTILITY NOTES

1. EXISTING UTILITIES SHOWN IN HARRISON AVENUE HAVE BEEN SCALED FROM PLAN TITLED, "UPGRADE/IMPROVEMENTS TO SANITARY SEWER SYSTEM" PRODUCED BY WESTON & SAMPSON ENGINEERS, INC., LAST REVISED OCTOBER 1996 AND LATERAL LOCATION PROVIDED BY THE JAY PICOTTE AND THE SEWER DEPARTMENT.
2. EXISTING DRAINAGE INFORMATION SCALED FROM PLAN TITLED, "EXISTING PRIVATE SEWER SYSTEM DISCHARGING INTO BRENTON COVE" PROVIDED BY THE CITY OF NEWPORT DEPARTMENT OF ENGINEERING AND INSPECTION, DATED JULY 24, 1989, AND SUPPLEMENTED WITH FIELD LOCATIONS DETERMINED BY NE&C.
3. EXISTING GAS MAIN INFORMATION IN BRENTON ROAD TAKEN FROM PLAN PROVIDED BY NATIONAL GRID ON DECEMBER 16, 2016.
4. UTILITIES SHOWN WITHIN SITE TAKEN FROM PLAN ENTITLED "EXISTING CONDITIONS SITE PLAN, ASSESSOR'S MAP 41, PARCEL 14, 90 HARRISON AVENUE, NEWPORT, RHODE ISLAND", PREPARED BY LAND DEVELOPMENT ENGINEERING & CONSULTING, LLC, DATED JULY 15, 2015 AND SUPPLEMENTED WITH FIELD OBSERVATIONS BY NE&C.
5. THE LOCATIONS OF PROPOSED ELECTRICAL CONDUITS AND CONNECTIONS TO THE EXISTING OVERHEAD SERVICES IN HARRISON AVENUE AND BRENTON ROAD ARE PRELIMINARY. FINAL DESIGN OF THE ELECTRICAL SERVICES ARE SUBJECT TO DESIGN REVIEW AND APPROVAL BY NATIONAL GRID.
6. THE LOCATIONS OF WATER LINE SERVICES, AND METER PIT ARE PRELIMINARY AND SUBJECT TO REVIEW AND APPROVAL BY NEWPORT WATER.
7. PROPOSED SEWER LINES SUBJECT TO REVIEW BY THE CITY OF NEWPORT.
8. ELECTRIC, TELEPHONE AND CABLE SERVICES SHALL BE INSTALLED UNDERGROUND.
9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASSUMPTIONS, DEDUCTIONS, OR CONCLUSIONS HE/SHE MAY MAKE OR DERIVE FROM THE SUBSURFACE INFORMATION OR DATA FURNISHED ON THE PLANS. THE CONTRACTOR MUST SATISFY HIMSELF/HERSELF THROUGH HIS/HER OWN INVESTIGATIONS AS TO WHAT SUBSURFACE CONDITIONS ARE TO BE ENCOUNTERED.
10. IF THE CONTRACTOR ELECTS NOT TO EXPOSE AND VERIFY ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES AT CROSSINGS PRIOR TO PIPELINE EXCAVATION, HE/SHE FORFEITS HIS/HER RIGHTS FOR ANY CLAIMS FOR COMPENSATION CAUSED BY ANY CONFLICTS WITH EXISTING UTILITIES AND STRUCTURES.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL EFFLUENT ASSOCIATED WITH THE CONSTRUCTION ACTIVITY AND THE DISINFECTION AND HYDROTESTING OPERATIONS TO SAFEGUARD PUBLIC HEALTH AND SAFETY IN ACCORDANCE WITH APPLICABLE DEPARTMENT OF HEALTH REQUIREMENTS. ALL PERMITS AND LICENSES FOR CONSTRUCTION WATER DISPOSAL, INCLUDING ALL APPLICATIONS, CHARGES, FEES, AND TAXES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
12. APPLICABLE UTILITY EASEMENTS SHALL BE ESTABLISHED PRIOR TO FINAL APPROVAL.
13. DIAMETER OF SEWER SERVICES SUBJECT TO DESIGN REVIEW BY NEWPORT D.P.W.

PUBLIC HEALTH SAFETY AND CONVENIENCE NOTES

1. CONTRACTOR SHALL OBSERVE AND COMPLY WITH ALL FEDERAL, STATE, AND LOCAL LAWS REQUIRED FOR THE PROTECTION OF PUBLIC HEALTH, SAFETY AND ENVIRONMENTAL QUALITY.
2. THE CONTRACTOR AT HIS/HER EXPENSE, SHALL KEEP THE PROJECT AREA AND SURROUNDING AREA FREE FROM RUBBISH, DUST, NOISE, EROSION, ETC. THE WORK SHALL BE DONE IN CONFORMANCE WITH THE AIR AND WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF ALL APPLICABLE FEDERAL, STATE AND LOCAL AGENCIES.
3. NO CONTRACTOR SHALL PERFORM ANY CONSTRUCTION OPERATION SO AS TO CAUSE FALLING ROCKS, SILT OR DEBRIS IN ANY FORM TO FALL, SLIDE OR FLOW ONTO ADJOINING PROPERTIES, STREETS OR NATURAL WATERCOURSES. SHOULD SUCH VIOLATIONS OCCUR, THE CONTRACTOR MAY BE CITED AND THE CONTRACTOR SHALL IMMEDIATELY MAKE ALL REMEDIAL ACTIONS AS NECESSARY.
4. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN ALL NECESSARY SIGNS, LIGHTS, FLARES, BARRICADES, MARKERS, CONES, AND OTHER PROTECTIVE FACILITIES AND SHALL TAKE ALL NECESSARY PRECAUTIONS FOR THE PROTECTION, CONVENIENCE AND SAFETY OF THE PUBLIC.

SOIL EROSION AND SEDIMENT CONTROL NOTES

1. CONSTRUCTION SEQUENCE:
 - A. DO NOT BEGIN CONSTRUCTION UNTIL ALL LOCAL, STATE, AND FEDERAL PERMITS HAVE BEEN APPLIED FOR AND RECEIVED.
 - B. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCE SHOWN ON THE PLAN.
 - C. INSTALL SILT FENCES, SILT SACKS, CHECK DAMS AND/OR STRAW BALES AS INDICATED ON THE DRAWINGS TO CONTROL EROSION AND PREVENT SEDIMENT CONTAMINATION OF WETLANDS PRIOR TO ANY EARTH MOVING ACTIVITIES.
 - D. REMOVE TREES ONLY WHERE NECESSARY. ALL STUMPS TO BE GROUND OR DISPOSED OF OFF SITE
 - E. DEMOLISH EXISTING PAVEMENT IN AREAS OF CONSTRUCTION. IT IS ANTICIPATED THAT ALL PAVEMENT WILL BE REMOVED AS EACH LOT IS DEVELOPED.
2. NOTES:
 - A. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. ONLY THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. WHEN LAND IS EXPOSED DURING DEVELOPMENT, THE EXPOSURE SHOULD BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME.
 - B. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE STABILIZED WITHIN FOURTEEN DAYS IN ACCORDANCE WITH TEMPORARY MEASURES IN THE VEGETATIVE PRACTICE NOTES.
 - C. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOP SOIL TO REMOVE VEGETATION, ROOTS, AND ANY OTHER OBJECTIONABLE MATERIAL.
 - D. ALL FILL SHALL BE COMPACTED TO 95% MAX. DENSITY IN LAYERS NOT TO EXCEED 12" IN THICKNESS TO REDUCE EROSION, SLIPPAGE, SETTLEMENT SUBSIDENCE, OR OTHER RELATED PROBLEMS.
 - E. FILL INTENDED TO SUPPORT BUILDING STRUCTURES AND CONDUITS, ETC., SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL CODES AND SPECIFICATIONS.
 - F. FILL MATERIAL SHALL BE FREE OF BRUSH, RUBBISH, ROCKS, LOGS, STUMPS, BUILDING DEBRIS, AND OTHER OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
 - G. FROZEN, SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIAL SHALL NOT BE INCORPORATED INTO FILLS.
 - H. FILL SHALL NOT BE PLACED ON A FROZEN FOUNDATION SUBGRADE.
 - I. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.
 - J. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF FINISH GRADING IN ACCORDANCE WITH THE VEGETATIVE PRACTICE NOTES.
 - K. REMOVE TEMPORARY EROSION CONTROL MEASURES ONCE UPSLOPE AREAS HAVE BEEN PERMANENTLY STABILIZED AND VEGETATED AREAS HAVE RECEIVED TWO MOWINGS.
3. VEGETATIVE PRACTICE:

PERMANENT MEASURES:

 - A. SLOPES SHALL NOT BE STEEPER THAN 1 VERTICAL TO 3 HORIZONTAL UNLESS OTHERWISE SPECIFIED.
 - B. LOAM AND SEED REQUIREMENTS ARE SPECIFIED IN RIDOT L01 & L02.
 - C. A MINIMUM OF 4 INCHES OF LOAM SHALL BE INSTALLED. THE LOAM SHALL BE GRADED TO A SMOOTH CONDITION AND STONES AND OTHER OBJECTS LARGER THAN 2 INCHES SHALL BE REMOVED.

TEMPORARY MEASURES (FOR TEMPORARY PROTECTION OF DISTURBED AREAS)

 - D. LIMESTONE AND FERTILIZER SHALL BE APPLIED AT THE FOLLOWING RATE:
LIMESTONE: 3 TONS/ACRE
FERTILIZER: (10-10-10): 600 LBS/ACRE
 - E. SEED SHALL BE APPLIED AT THE FOLLOWING RATE:
WINTER RYE: 100 LBS/ACRE
 - F. STRAW MULCH SHALL BE APPLIED AT THE RATE OF 1.5 TONS/ACRE.
4. MAINTENANCE

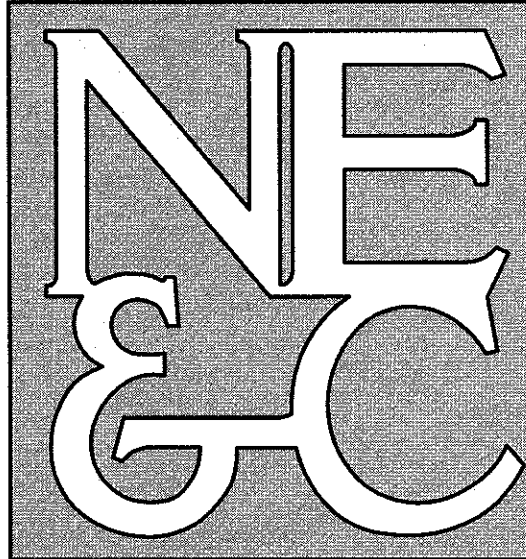
DURING THE PERIOD OF CONSTRUCTION AND/OR UNTIL LONG TERM VEGETATION IS ESTABLISHED, THE EROSION CONTROL MEASURES SHALL BE INSPECTED.

 - A. AT A MINIMUM THE SILT FENCING, STRAW BALES AND FILTER SOCK BARRIERS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. SEDIMENT TRAPPED BEHIND THE BARRIERS SHALL BE EXCAVATED WHEN IT REACHES A DEPTH OF 6" AND REGRADED ON THE SITE.
 - B. EROSION CONTROL BLANKETS SHALL BE INSPECTED ON A WEEKLY BASIS.
 - C. SILT SACKS SHALL BE INSPECTED AND REPAIRED ONCE A WEEK AND / OR IMMEDIATELY FOLLOWING A SIGNIFICANT RAINFALL OR SNOWMELT. DURING HEAVY RAIN EVENT, IT MAY BE NECESSARY TO TEMPORARILY REMOVE SACKS IN ORDER TO PREVENT FLOODING. SEDIMENT TRAPPED WITHIN SACKS SHALL BE DISPOSED OF OFF SITE AT A LICENSED FACILITY OR REGRADED ON THE SITE.
 - D. ANY STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSPECTED WEEKLY, AND REESTABLISHED AS NECESSARY.
 - E. SEEDED AREAS WILL BE FERTILIZED AND RESEEDED AS NECESSARY TO INSURE ESTABLISHMENT OF A VEGETATIVE GROWTH THAT MEETS THE APPROVAL OF THE CITY ENGINEER.

ABBREVIATIONS

ADJ	ADJACENT
AP	ASSESSOR'S PLAT
ACCESS	ACCESSIBLE
ARCH	ARCHITECT
BC	BOTTOM OF CURB
BH	BORING HOLE
BIT	BITUMINOUS
CLR	CLEARANCE
CMP	CORRUGATED METAL PIPE
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONN	CONNECT
COTG	CLEAN OUT TO GRADE
CF	CUBIC FOOT
DEMO	DEMOLISH
DI	DRAIN INLET
DIA	DIAMETER
DMH	DRAIN MANHOLE
dp	DROP PIPE
DS	DOWN SPOUT
DWG	DRAWING
E	ELECTRIC
ELEVEL	ELEVATION
EMH	ELECTRIC MANHOLE
EOP	EDGE OF PAVEMENT
EQ	EQUAL
EXIST	EXISTING
EXP	EXPANSION
FFE	FINISH FLOOR ELEVATION
FG	FINISHED GRADE
FH	FIRE HYDRANT
FT	FEET
G	GAS
GAL	GALLON
GV	GATE VALVE
INV	INVERT
JT	JOINT
L	LENGTH
LAND	LANDSCAPE
NTS	NOT TO SCALE
MAX	MAXIMUM
MECH	MECHANICAL
MIN	MINIMUM
PAVT	PAVEMENT
PVC	POLYVINYLCHLORIDE
R	RADIUS
RC	REINFORCED CONCRETE
RECONN	RECONNECT
RHB	RHODE ISLAND HIGHWAY BOUND
RIDOT	RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROW	RIGHT OF WAY
S	SLOPE, SEWER
SF	SQUARE FEET
SHT	SHEET
SMH	SEWER MANHOLE
STA	STATION
STRUCT	STRUCTURAL
TC	TOP OF CURB
TOP	TOP OF SURFACE
UGT	UNDERGROUND TELEPHONE
TYP	TYPICAL
W	WATER
W	WITH
WWM	WELDED WIRE MESH

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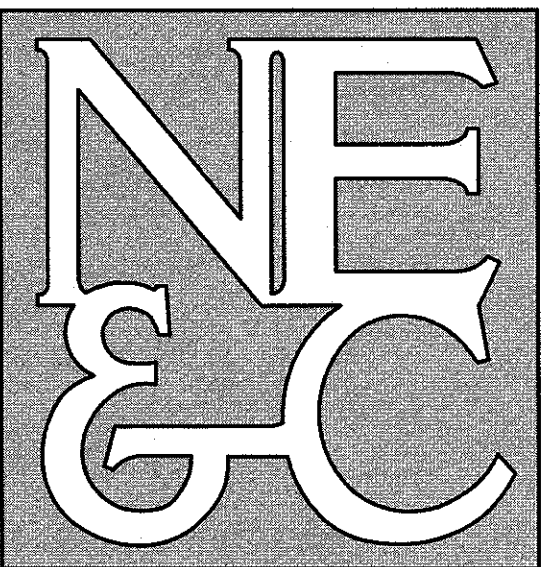
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LEGEND:	
---	PROPERTY LINE
---	ABUTTER PROPERTY LINE
---	PROPOSED SUBDIVISION LINE
---	ZONING SETBACK LINE
---	45 --- TOPOGRAPHIC CONTOUR
---	X --- CHAIN LINK FENCE
---	RAIL FENCE
---	EXISTING PAVEMENT
---	TREE LINE
---	EXISTING SOILS
---	EXISTING DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
---	EXISTING GAS LINE
---	PROPOSED SEWER MAIN
---	PROPOSED SEWER SERVICE
---	PROPOSED ELECTRIC SERVICE
---	PROPOSED WATER SERVICE
---	PROPOSED GAS SERVICE
---	PROPOSED GRADING
①	DRAIN MANHOLE
②	SEWER MANHOLE
③	TELEPHONE MANHOLE
④	MANHOLE
⑤	CATCH BASIN
⑥	HYDRANT
⑦	UTILITY POLE
⑧	WATER GATE
⑨	GAS GATE
⑩	PROPOSED GAS GATE
⑪	PROPOSED WATER GATE
⑫	DELINEATED WETLAND
⑬	WETLAND FLAG
⑭	STONE/GRAVITE BOUND
⑮	IRON PIPE
---	PROPOSED UTILITY EASEMENT
---	UTILITY & CURB CUT LIMIT OF DISTURBANCE
---	OVERALL LIMIT OF DISTURBANCE
---	H.S. --- SILT FENCE & STRAW BALES
---	S.F. --- SILT FENCE
⑯	4" x 4" WOODEN POST

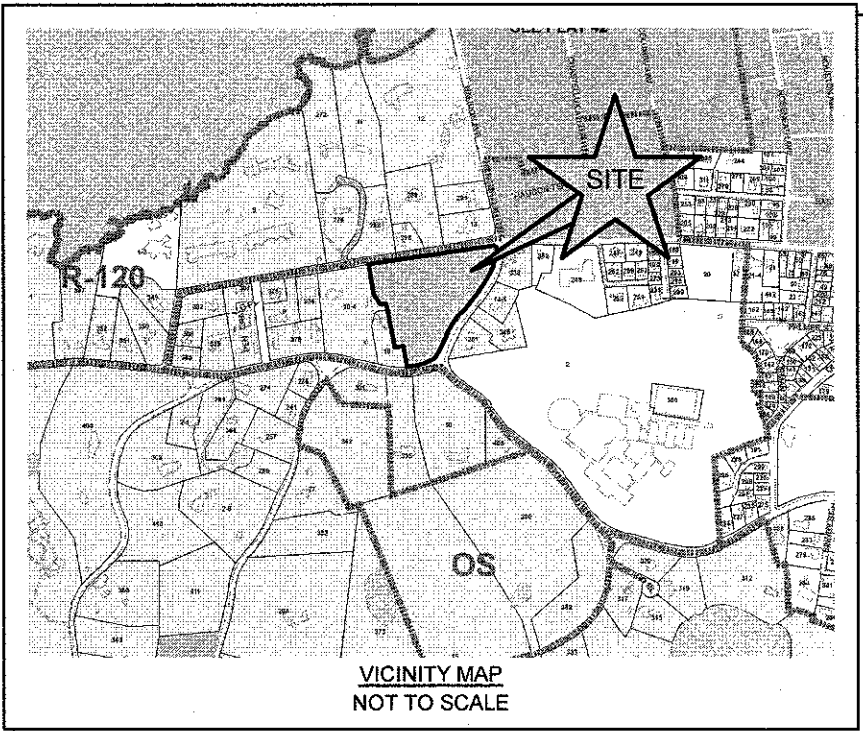
1	CITY PRELIM AND FINAL APPLICATION	03SEP19	
No.	Revision	Date	App.
Designed By:	JUR	Drawn by:	DJW
Scale:	N/A	Date:	13APR17
Project Title:			
A.P. 41, LOT 14 90 HARRISON AVENUE FORMER UNDERWOOD SCHOOL NEWPORT, RHODE ISLAND			
Client/Owner:			
SCHOOLYARD PROPERTIES LLC 19 BRENTON ROAD NEWPORT, RI 02840			
Issued for:			
PERMITTING			
Drawing Title:			
NOTES			
Drawing Number:		C-2	
Sheet		2 of 7	
Project Number:		16068.1	
Survey Index:		14 - 41 - 14	
<div><p>OWNERSHIP AND USE OF DOCUMENTS: DRAWINGS AND SPECIFICATIONS, AS INSTRUMENTS OF PROFESSIONAL SERVICE, ARE AND SHALL REMAIN THE PROPERTY OF THE ENGINEER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR PART, FOR ANY OTHER PROJECTS OR PURPOSES, OR BY ANY OTHER PARTIES, THAN THOSE PROPERLY AUTHORIZED BY CONTRACT, WITHOUT THE EXPRESS AUTHORIZATION OF THE ENGINEER.</p></div>			



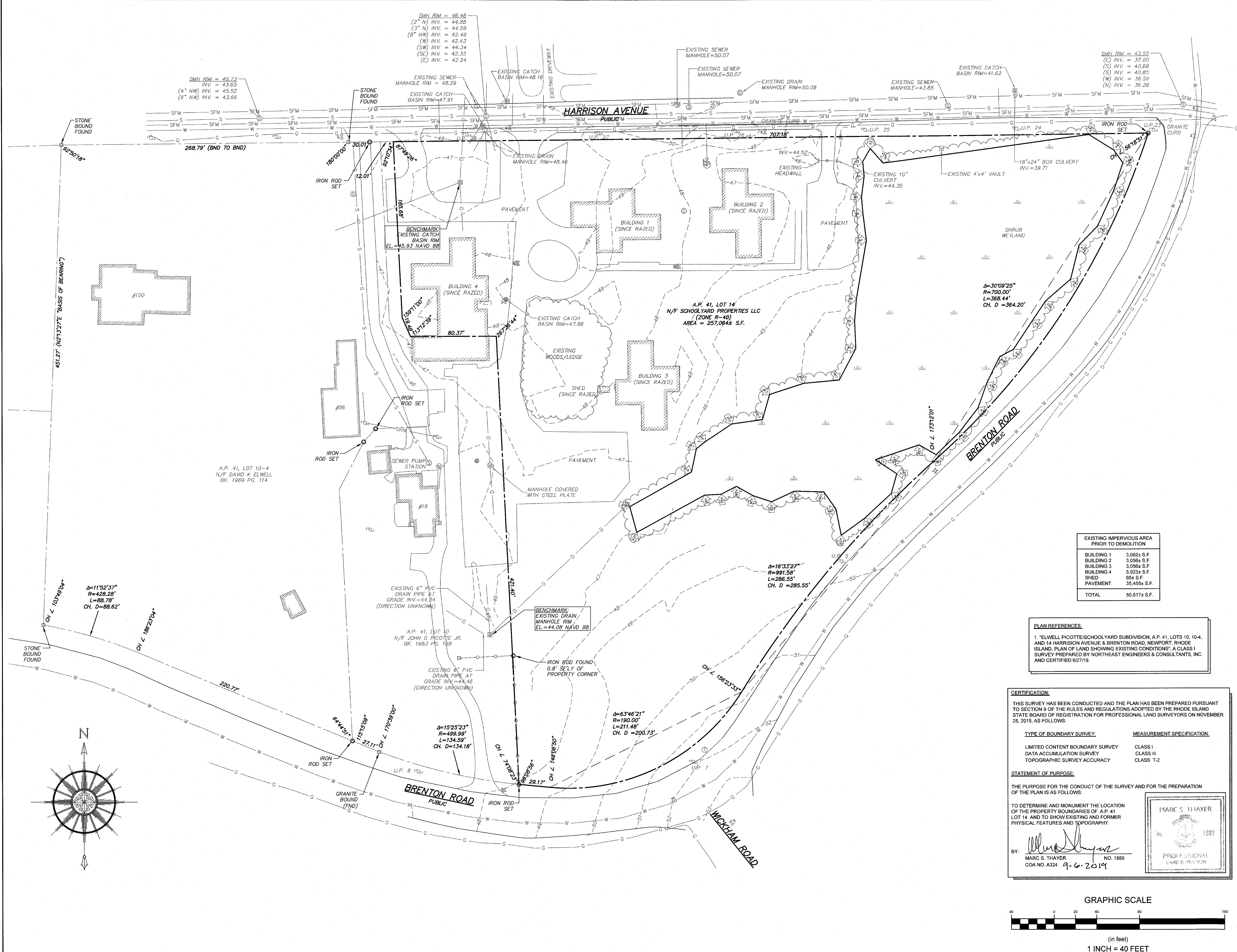
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VICINITY MAP
NOT TO SCALE



EXISTING IMPERVIOUS AREA PRIOR TO DEMOLITION	
BUILDING 1	3,082± S.F.
BUILDING 2	3,056± S.F.
BUILDING 3	3,056± S.F.
BUILDING 4	5,923± S.F.
SHED	65± S.F.
PAVEMENT	35,455± S.F.
TOTAL	50,613± S.F.

PLAN REFERENCES:
1. "ELWELL PICOTTE/SCHOOLYARD SUBDIVISION, A.P. 41, LOTS 10, 10-4, AND 14 HARRISON AVENUE & BRENTON ROAD, NEWPORT, RHODE ISLAND, PLAN OF LAND SHOWING EXISTING CONDITIONS", A CLASS I SURVEY PREPARED BY NORTHEAST ENGINEERS & CONSULTANTS, INC. AND CERTIFIED 6/27/19.

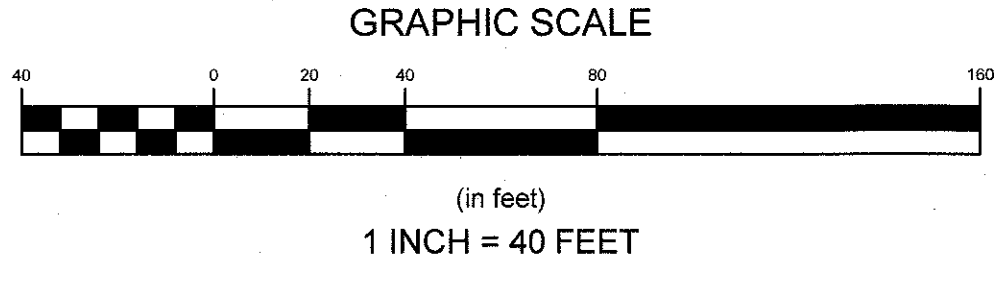
CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY DATA ACCUMULATION SURVEY TOPOGRAPHIC SURVEY ACCURACY	MEASUREMENT SPECIFICATION: CLASS I CLASS III CLASS T-2
---	--

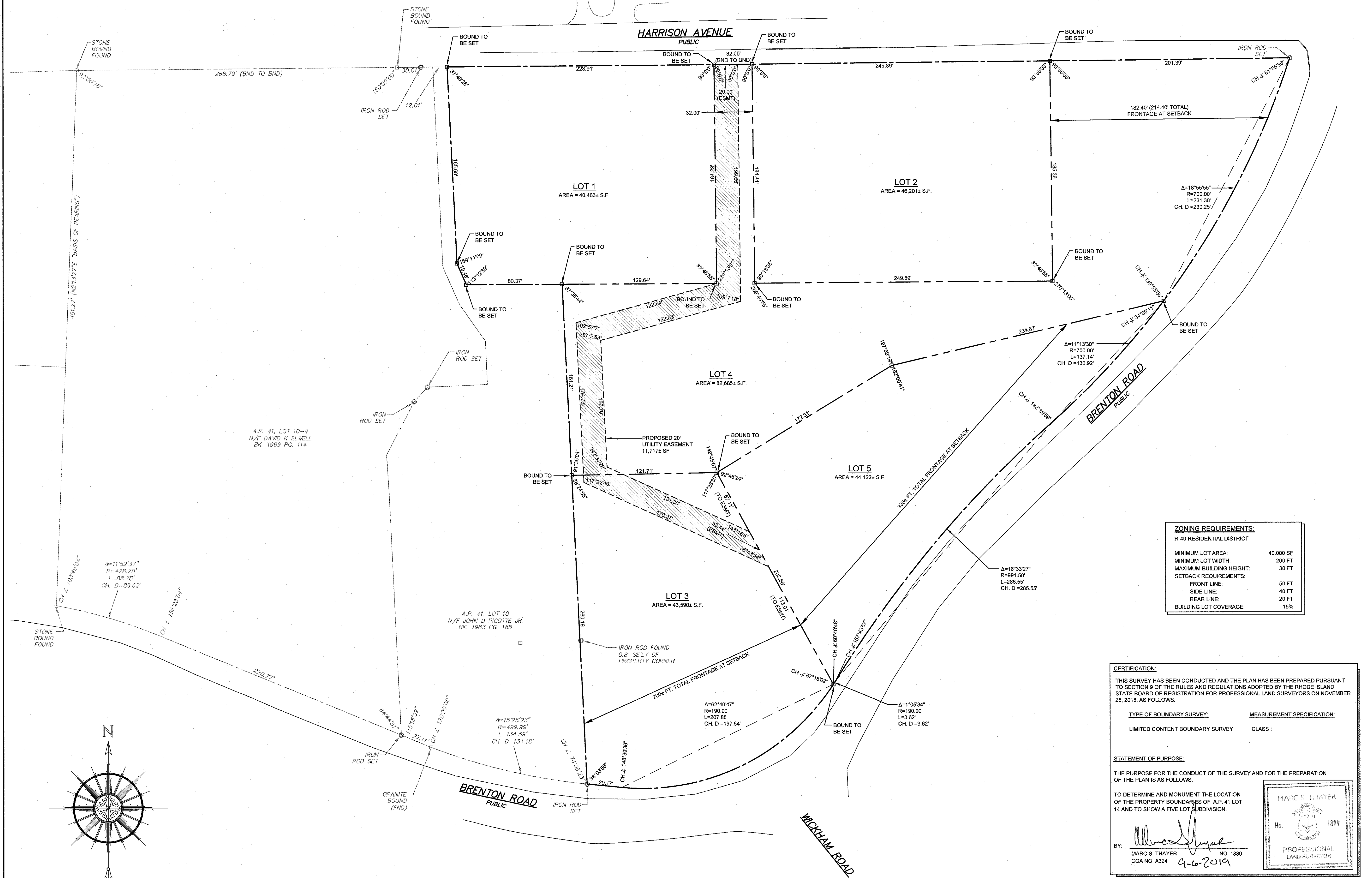
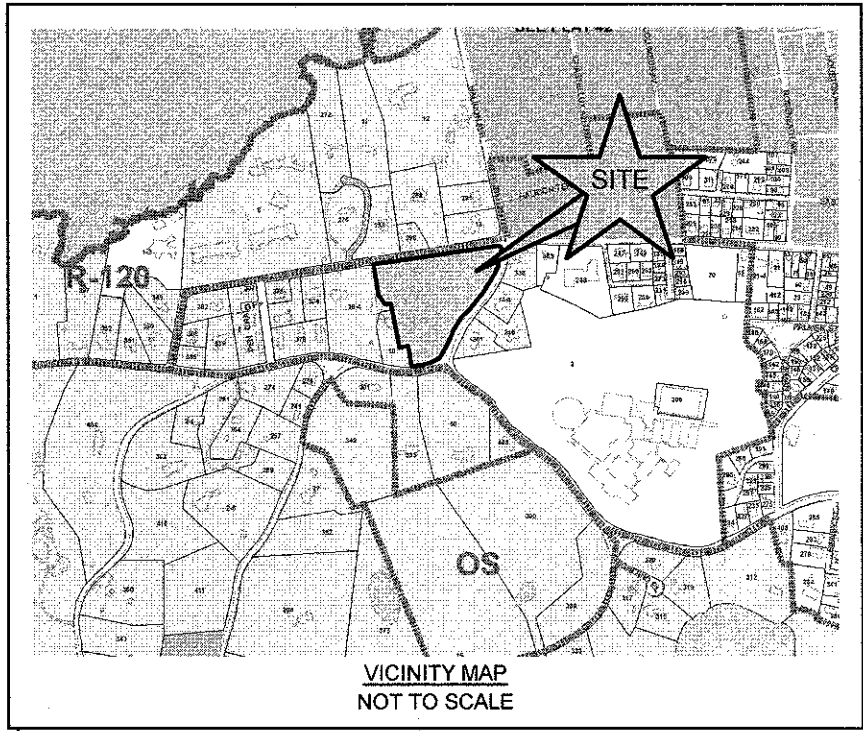
STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO DETERMINE AND MONUMENT THE LOCATION OF THE PROPERTY BOUNDARIES OF A.P. 41 LOT 14 AND TO SHOW EXISTING AND FORMER PHYSICAL FEATURES AND TOPOGRAPHY.

BY:
MARC S. THAYER
COA NO. A324 9-6-2019

NO. 1989
PROFESSIONAL
LAND SURVEYOR



1	CITY PRELIM AND FINAL APPLICATION	03SEP19	
No.	Revision	Date	App.
Designed By:	Drawn by:	DJW	Checked by: RFL
Scale:	1" = 40'	Date:	13APR17
Project Title: A.P. 41, LOT 14 90 HARRISON AVENUE FORMER UNDERWOOD SCHOOL NEWPORT, RHODE ISLAND			
Client/Owner: SCHOOLYARD PROPERTIES LLC 19 BRENTON ROAD NEWPORT, RI 02840			
Issued for: PERMITTING			
Drawing Title: EXISTING CONDITIONS PLAN			
Drawing Number: C-3		Sheet 3 of 7	
Project Number: 16068.1		Survey Index: 14 - 41 - 14	
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ZONING REQUIREMENTS:
R-40 RESIDENTIAL DISTRICT

MINIMUM LOT AREA:	40,000 SF
MINIMUM LOT WIDTH:	200 FT
MAXIMUM BUILDING HEIGHT:	30 FT
SETBACK REQUIREMENTS:	
FRONT LINE:	50 FT
SIDE LINE:	40 FT
REAR LINE:	20 FT
BUILDING LOT COVERAGE:	15%

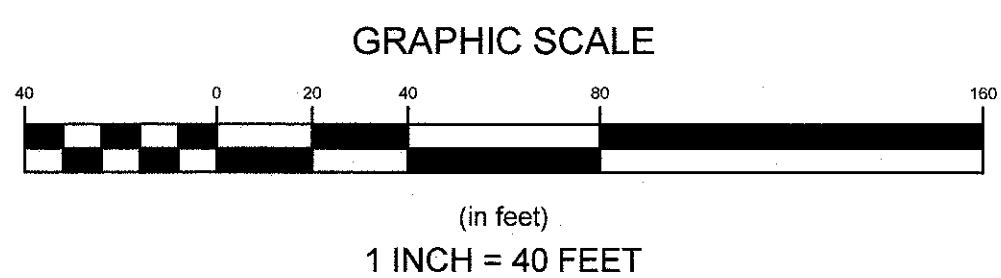
CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY	MEASUREMENT SPECIFICATION: CLASS I
--	--

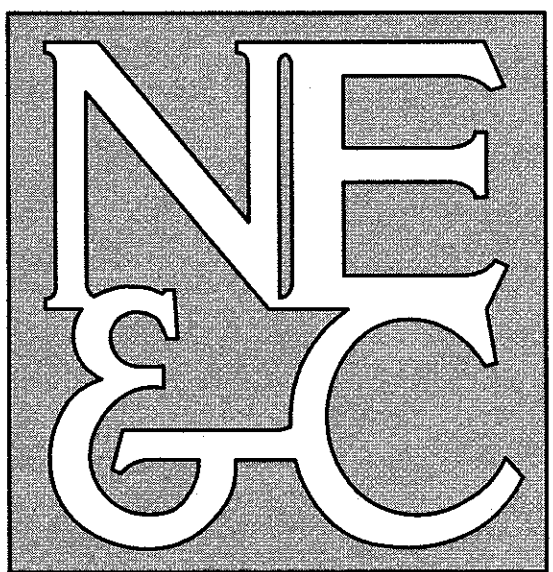
STATEMENT OF PURPOSE:
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO DETERMINE AND MONUMENT THE LOCATION OF THE PROPERTY BOUNDARIES OF A.P. 41 LOT 14 AND TO SHOW A FIVE LOT SUBDIVISION.

BY: *Marc S. Thayer*
MARC S. THAYER
COA NO. A324 9-6-2019

NO. 1889
PROFESSIONAL
LAND SURVEYOR



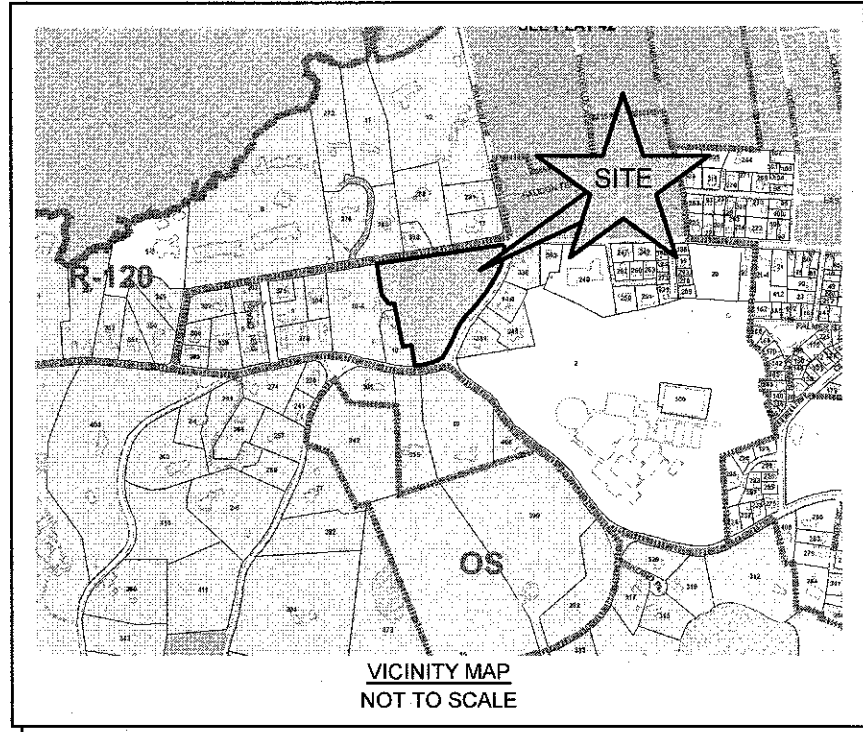
1	CITY PRELIM AND FINAL APPLICATION	03SEP19	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	DJW
Scale:	1" = 40'	Checked by:	RFL
Date:			13APR17
Project Title:			
A.P. 41, LOT 14 90 HARRISON AVENUE FORMER UNDERWOOD SCHOOL NEWPORT, RHODE ISLAND			
Client/Owner:			
SCHOOLYARD PROPERTIES LLC 19 BRENTON ROAD NEWPORT, RI 02840			
Issued for:			
PERMITTING			
Drawing Title:			
PROPOSED SUBDIVISION PLAN			
Drawing Number:		C-4	
Sheet		4 of 7	
Project Number:		16068.1	
Survey Index:		14 - 41 - 14	
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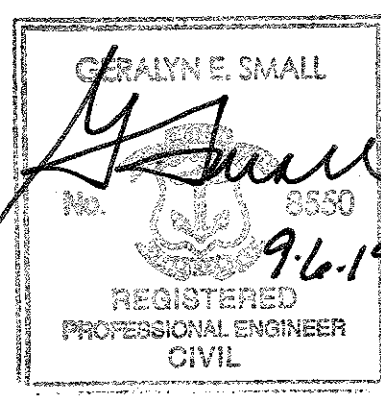
4	CITY PRELIM AND FINAL APPLICATION		03SEP19	
3	REVISED LOT 2 SEWER LINE		18SEP18	
2	REMOVED DRAIN LINES WITHIN SITE		14SEP18	
1	REMOVED TOPOGRAPHIC CONTOURS		22AUG18	
No.	Revision		Date	App.
Designed By: JJR		Drawn by: DJW	Checked by:	
Scale:	1" = 40'	Date:	13APR17	

Project Title:
A.P. 41, LOT 14
90 HARRISON AVENUE
FORMER UNDERWOOD SCHOOL
NEWPORT, RHODE ISLAND

Client/Owner:
SCHOOLYARD PROPERTIES LLC
19 BRENTON ROAD
NEWPORT, RI 02840

Issued for:
PERMITTING

Drawing Title:
**PROPOSED UTILITY
PLAN**



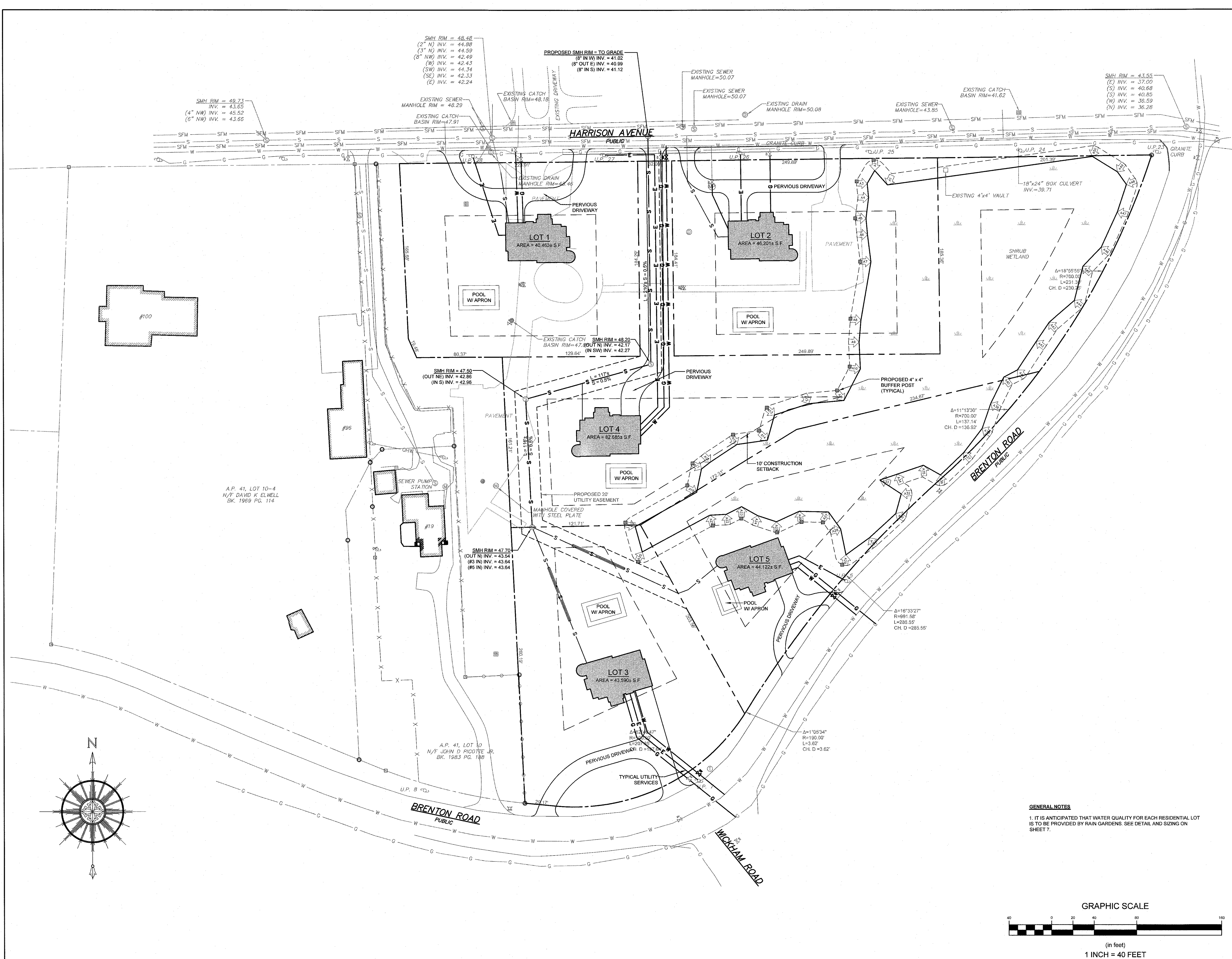
Drawing Number:
C-5

Sheet **5** of **7**

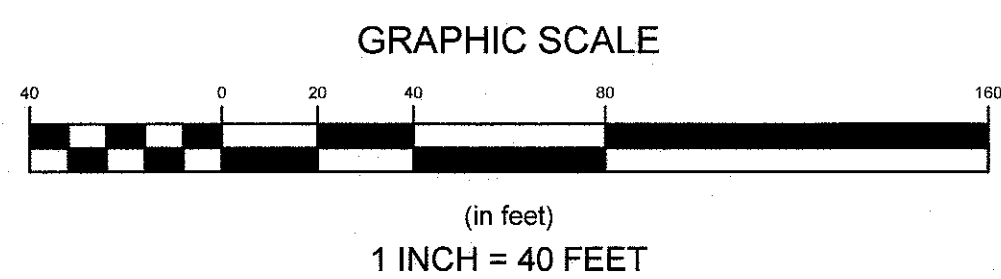
Project Number:
16068.1

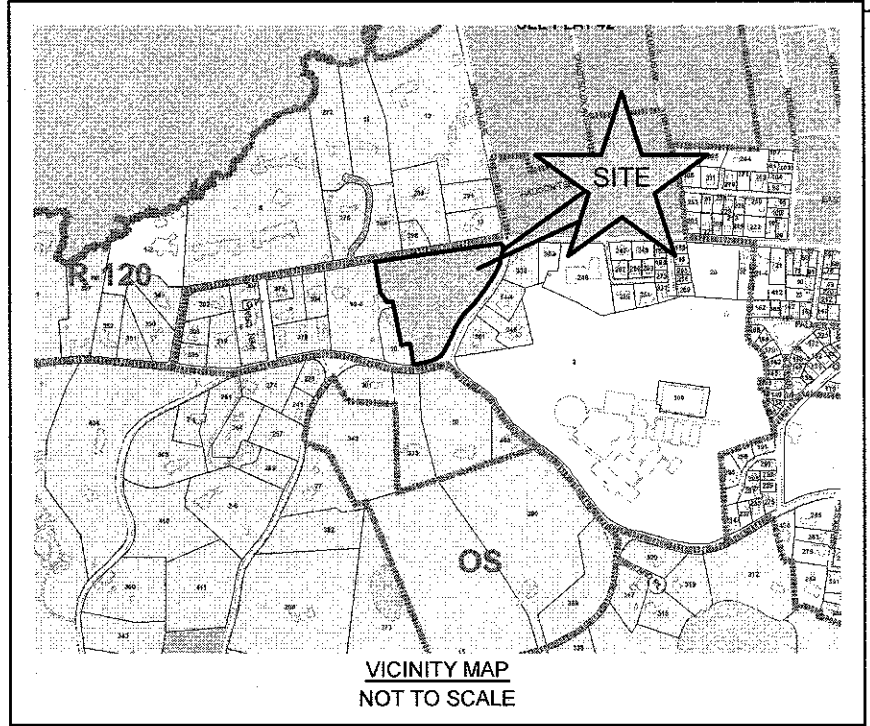
Survey Index:
14 - 41 - 14

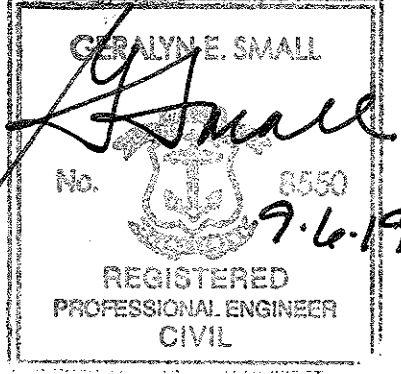
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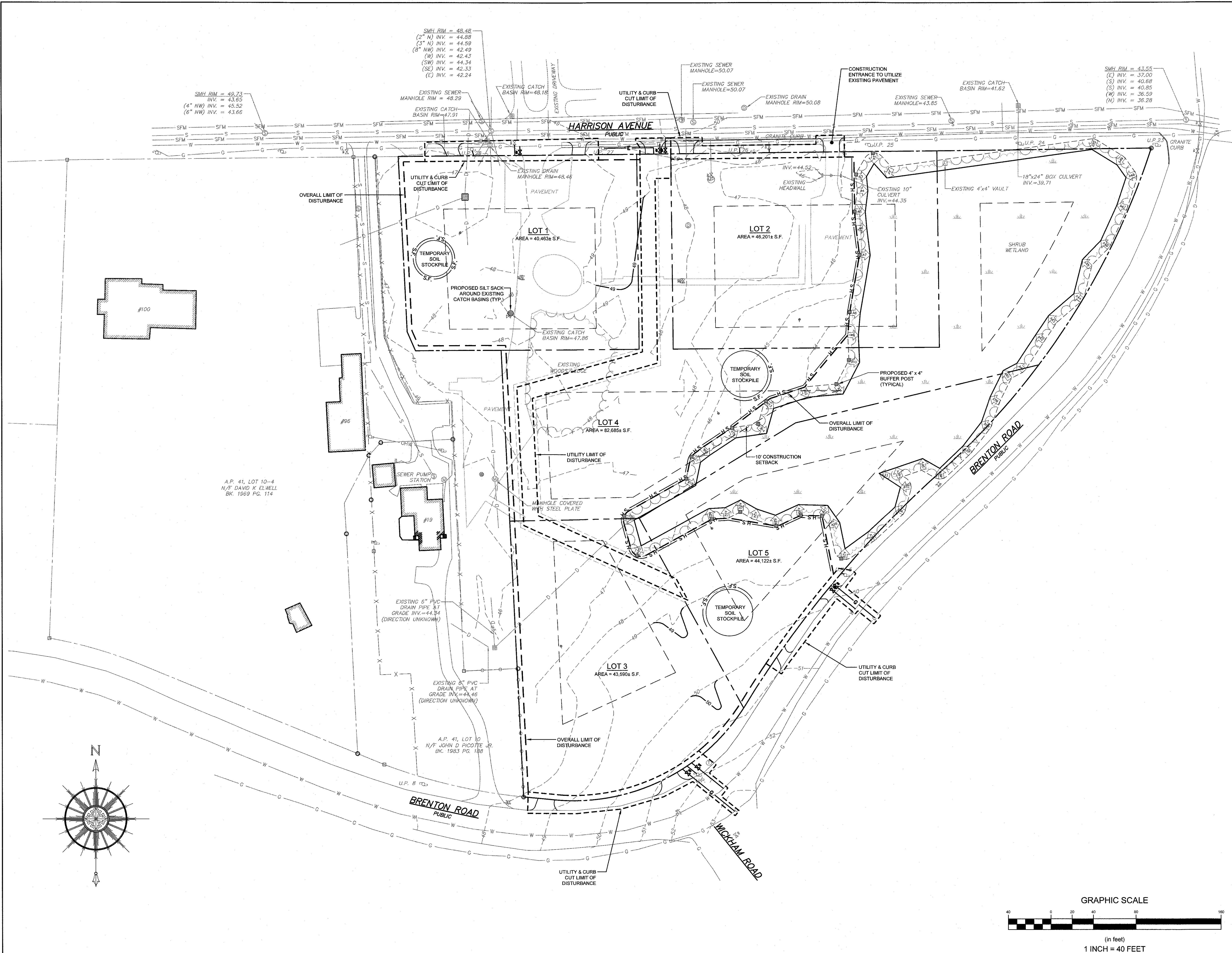


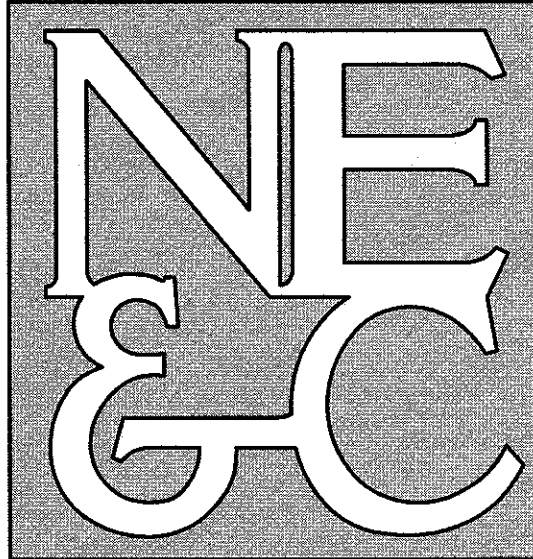
GENERAL NOTES
1. IT IS ANTICIPATED THAT WATER QUALITY FOR EACH RESIDENTIAL LOT IS TO BE PROVIDED BY RAIN GARDENS. SEE DETAIL AND SIZING ON SHEET 7.





1	CITY PRELIM AND FINAL APPLICATION		03SEP19	
No.	Revision		Date	App.
Designed By: JJR		Drawn by: DJW		Checked by:
Scale: 1" = 40'		Date:		13APR17
Project Title: <div>A.P. 41, LOT 14 90 HARRISON AVENUE FORMER UNDERWOOD SCHOOL NEWPORT, RHODE ISLAND</div>				
Client/Owner: <div>SCHOOLYARD PROPERTIES LLC 19 BRENTON ROAD NEWPORT, RI 02840</div>				
Issued for: <div>PERMITTING</div>				
Drawing Title: <div>CONSTRUCTION GRADING AND SESC</div>				
		Drawing Number: <div>C-6</div>		
		Sheet 6 of 7		
		Project Number: <div>16068.1</div>		
		Survey Index: <div>14 - 41 - 14</div>		
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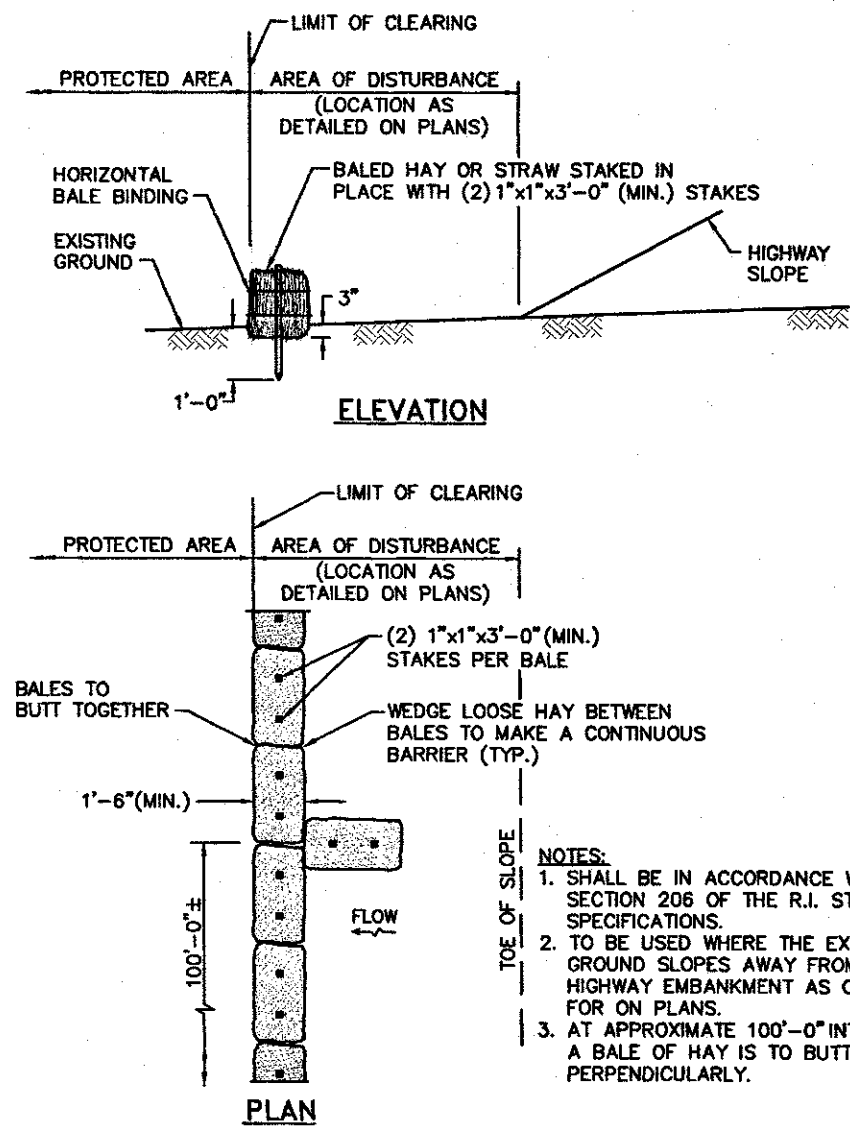




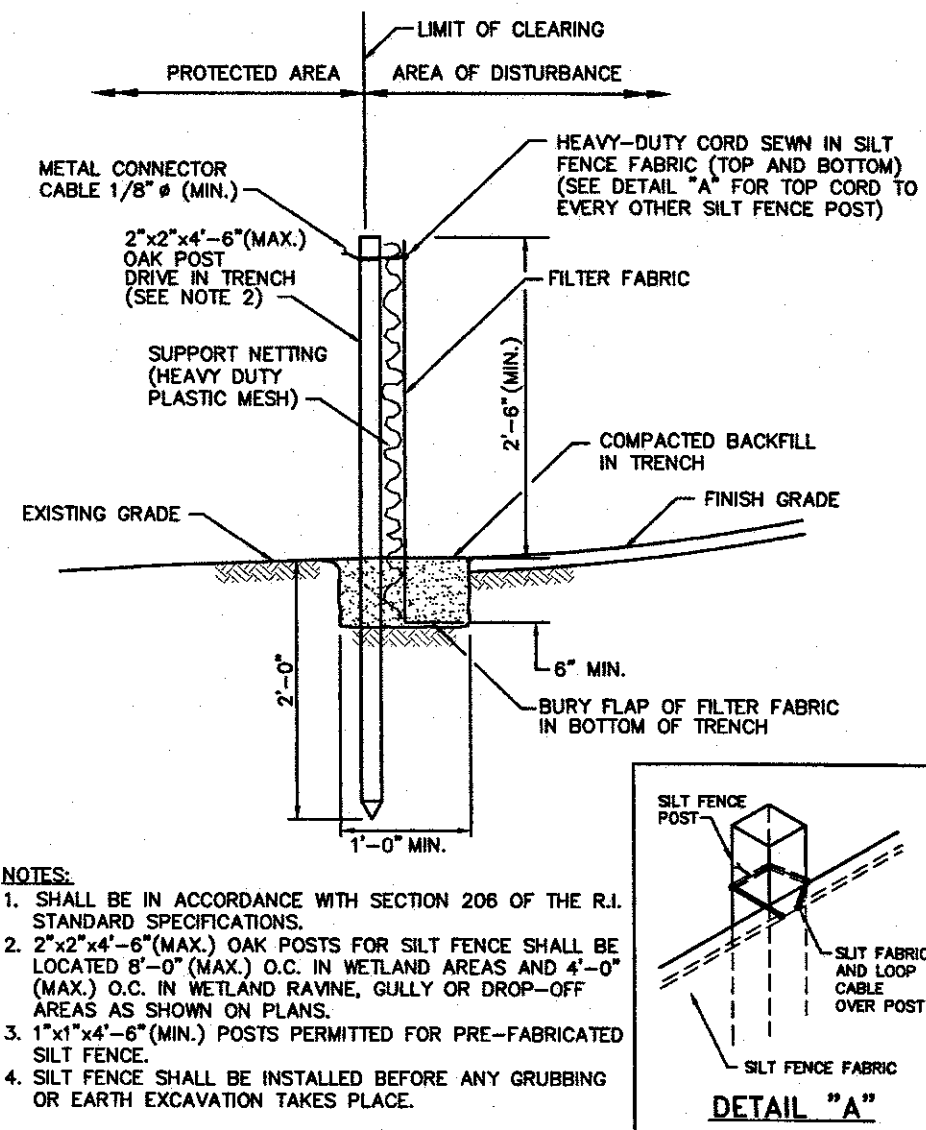
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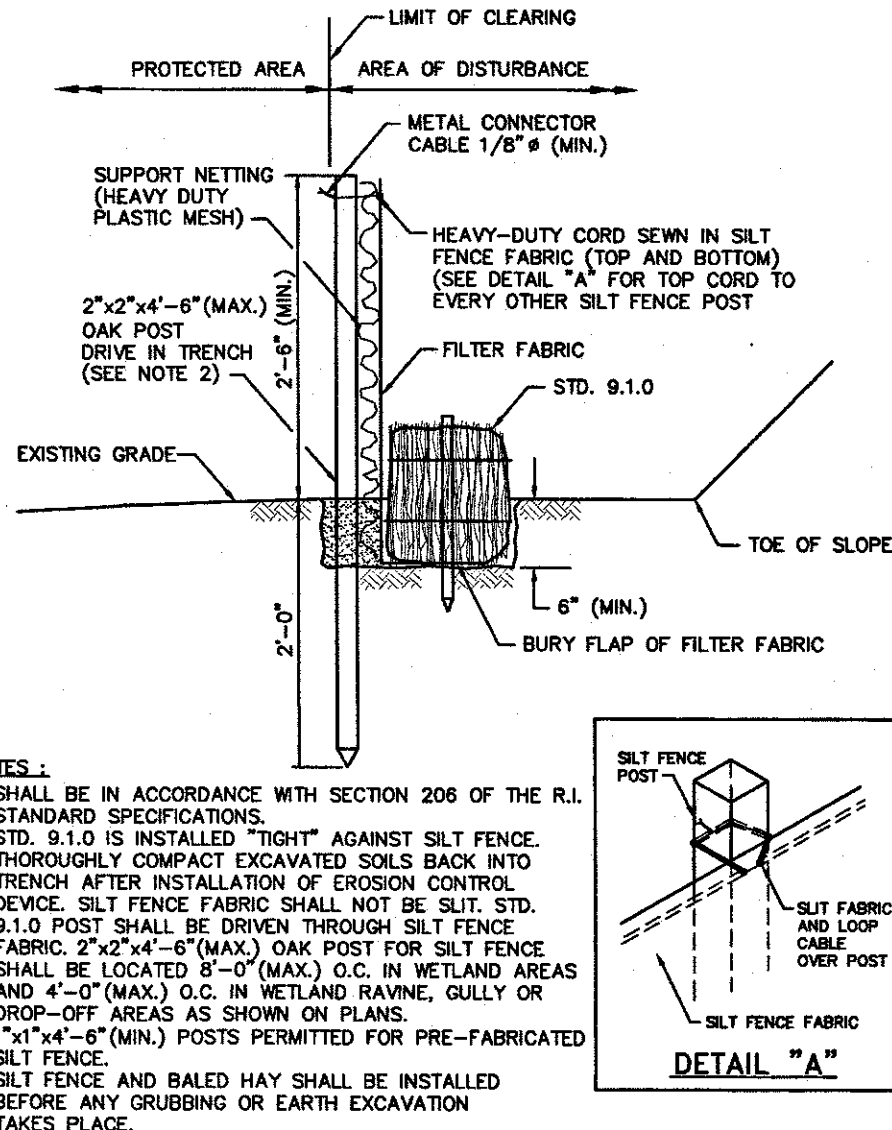
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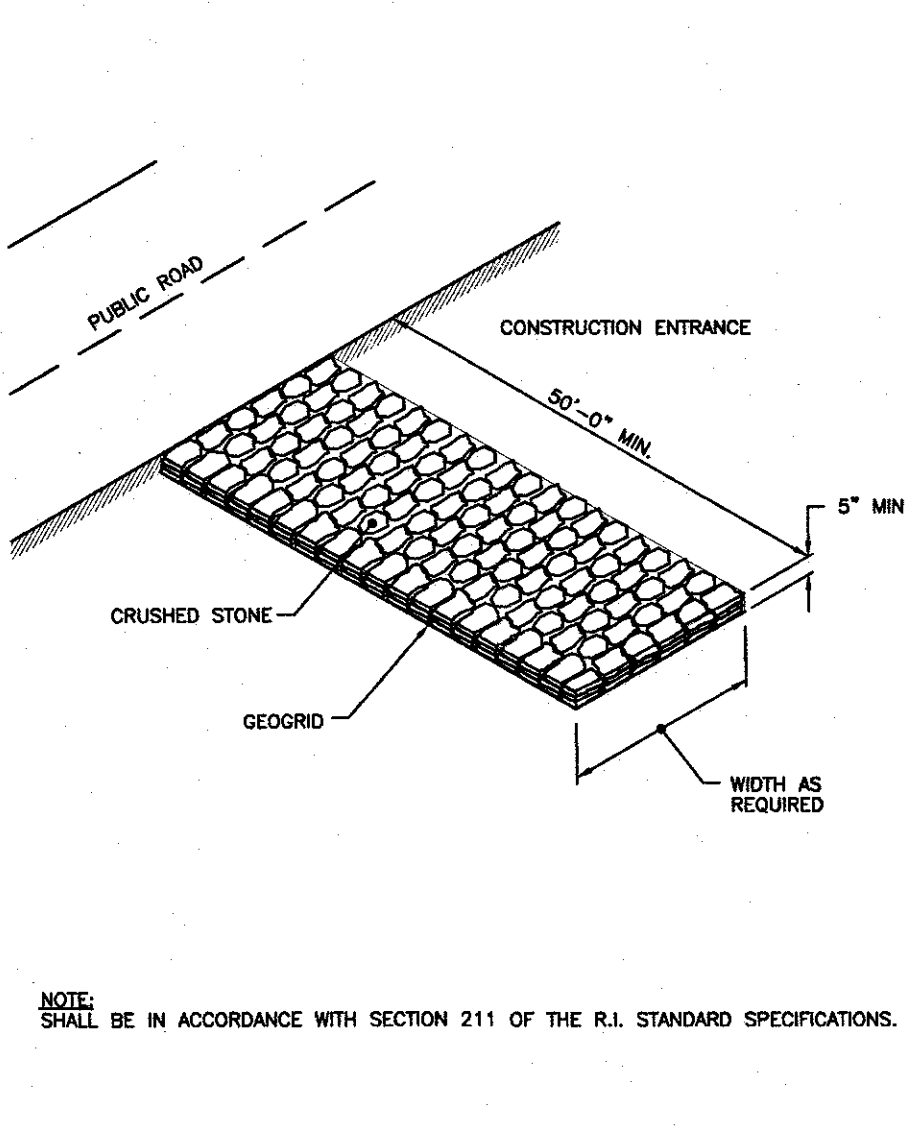
BALED STRAW EROSION CHECK (RIDOT 9.1.0)
SCALE: NOT TO SCALE



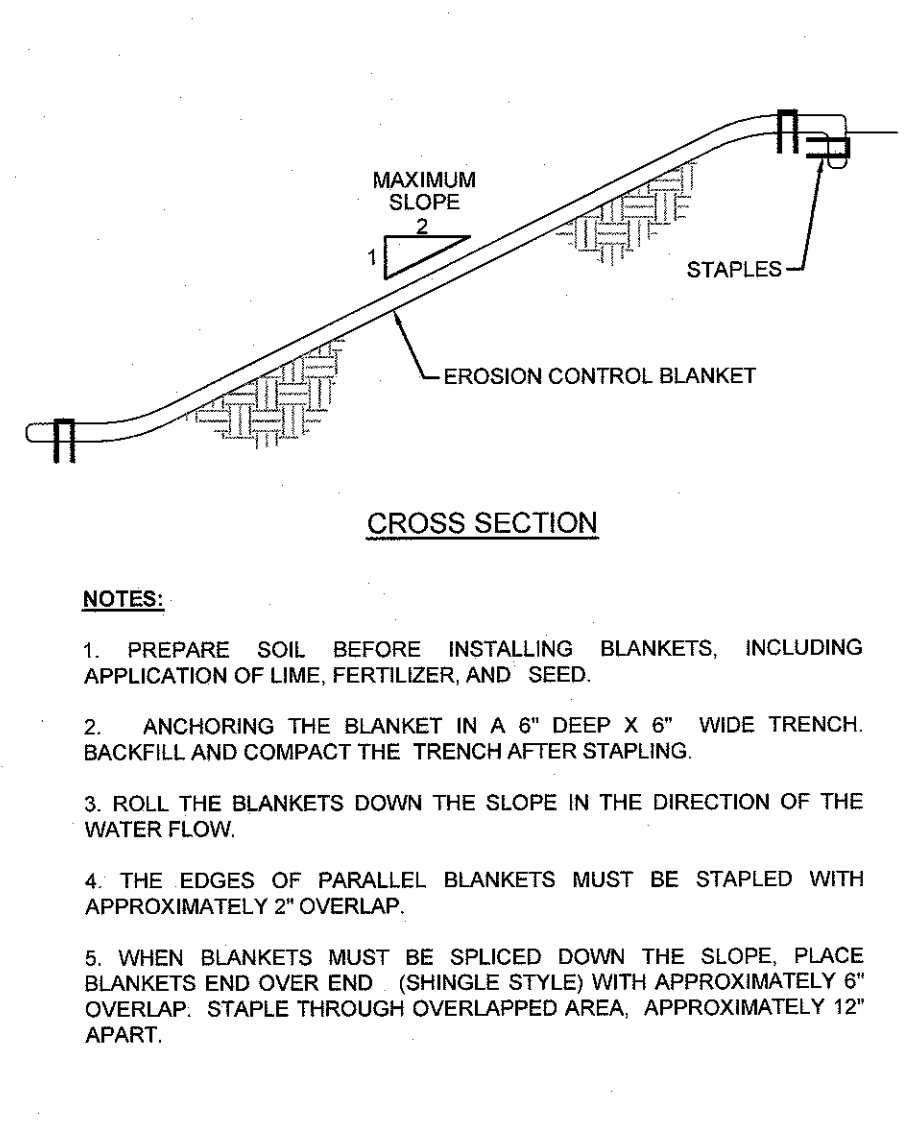
SILT FENCE EROSION CHECK (RIDOT 9.2.0)
SCALE: NOT TO SCALE



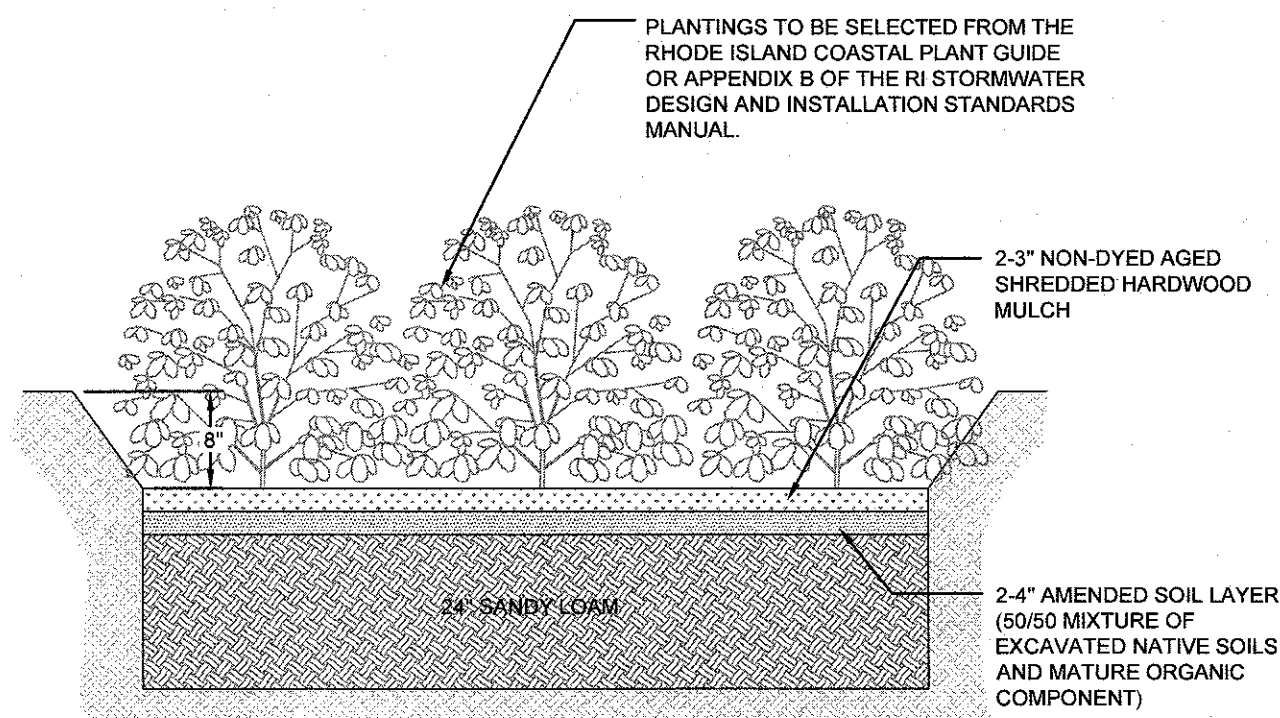
BALED STRAW EROSION CHECK AND SILT FENCE
COMBINED (RIDOT 9.3.0)
SCALE: NOT TO SCALE



STONE CONSTRUCTION ACCESS (RIDOT 9.9.0)
SCALE: NOT TO SCALE



EROSION CONTROL BLANKET
SCALE: NOT TO SCALE



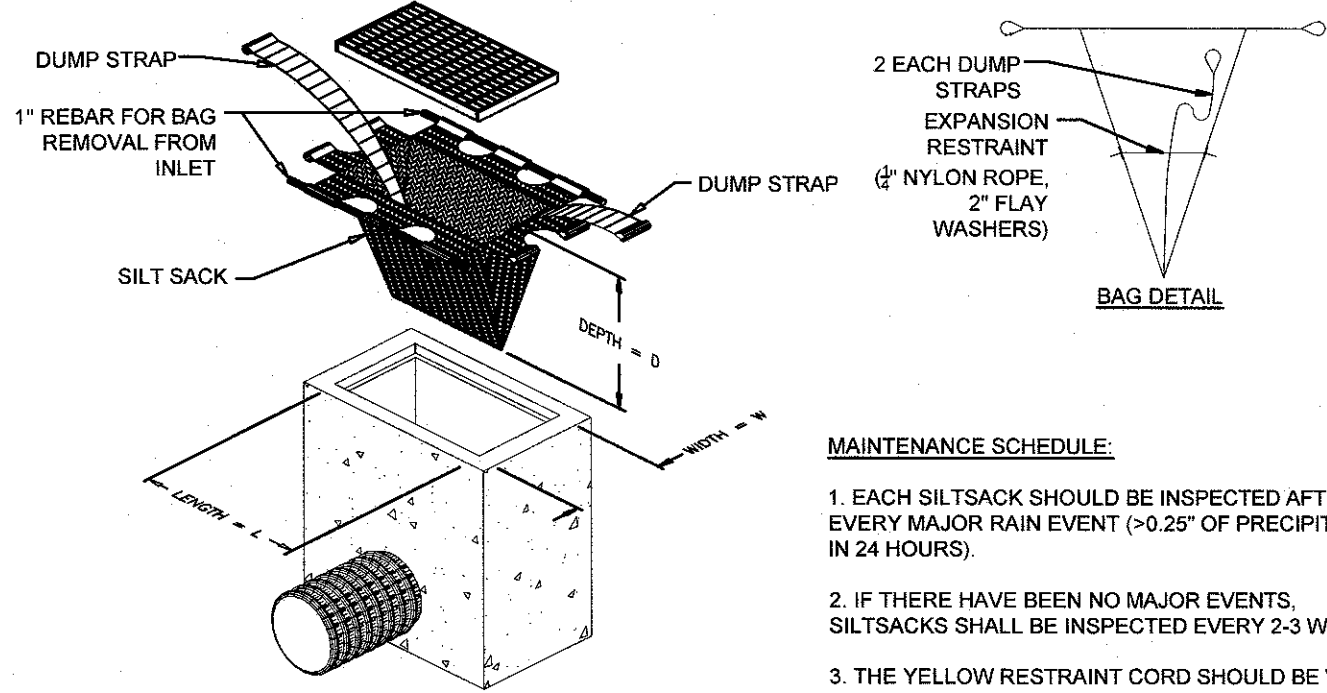
NOTES:

1. A CRUSHED STONE ENTRANCE SHALL BE INSTALLED AT INFLOW TO PREVENT CHANNELING.
2. DOWNHILL SIDE OF GARDEN SHALL BE BERMED TO PROVIDE THE NECESSARY DEPTH.

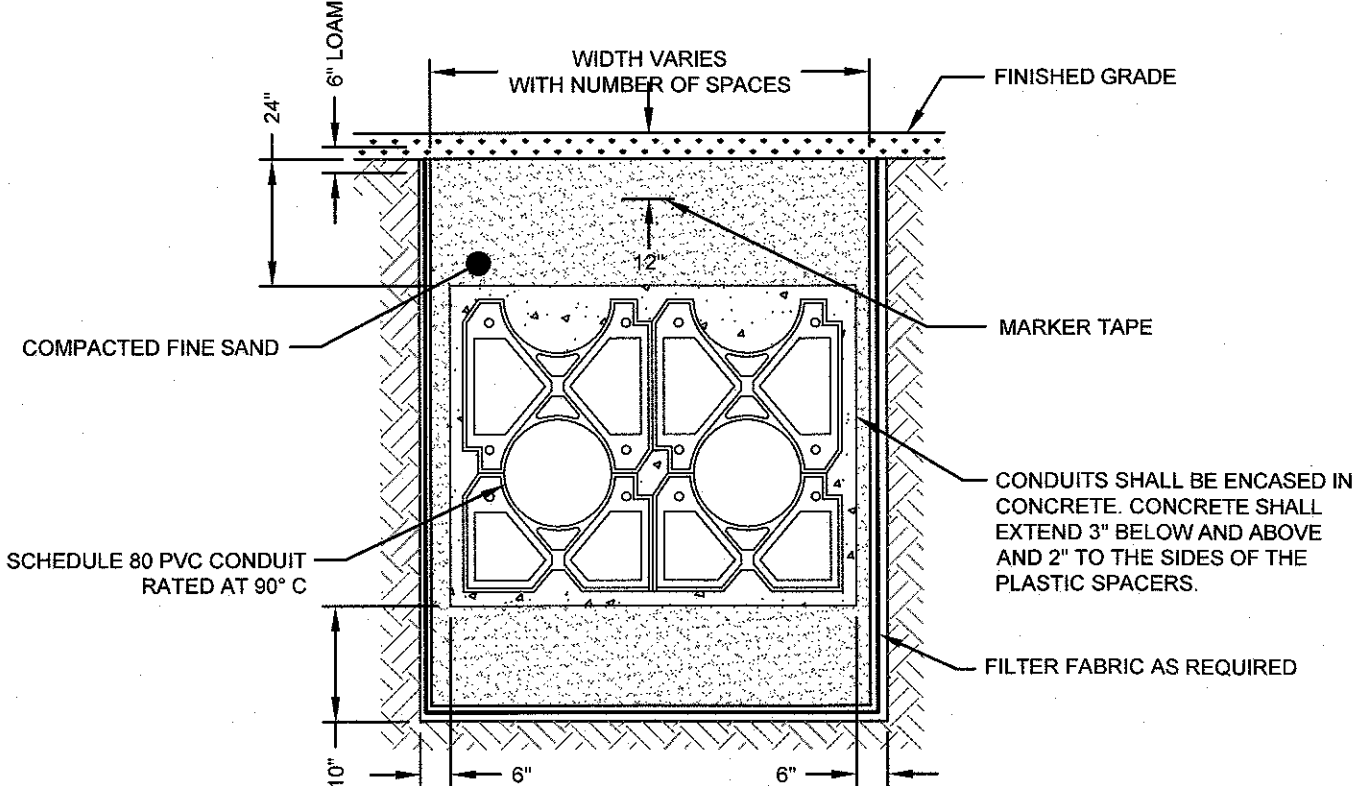
TYPICAL RAIN GARDEN CROSS SECTION
SCALE: NOT TO SCALE

TOTAL IMPERVIOUS LOT AREA (SF)	GARDEN AREA REQUIRED (SF)
1,000	160
2,000	320
3,000	480
4,000	640
5,000	800
6,000	960
7,000	1,120
8,000	1,280
9,000	1,440
10,000	1,600

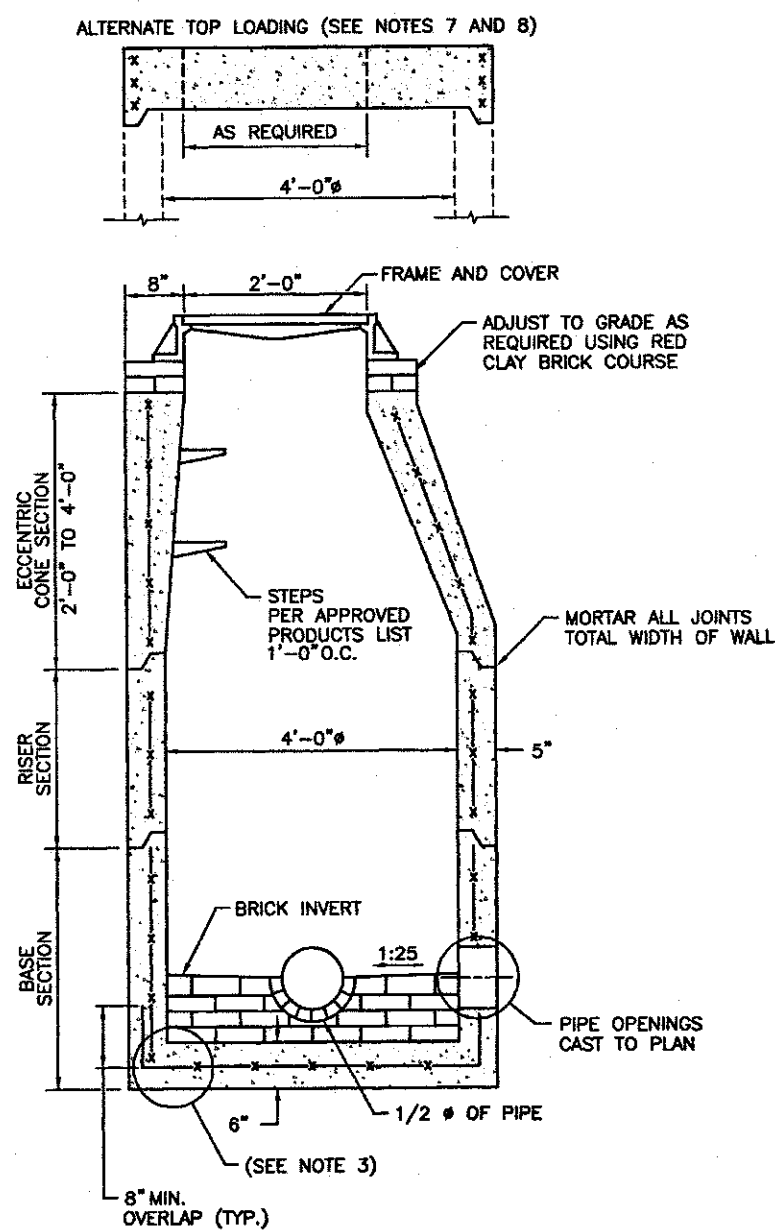
*BASED ON 160 SQ. FT. OF 8 INCH DEEP RAIN GARDEN PER 1,000 SQ. FT. OF CONTRIBUTING IMPERVIOUS AREA



SILT SACK DETAIL
SCALE: NOT TO SCALE



CONDUIT TRENCH CROSS SECTION
SCALE: NOT TO SCALE



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
 2. CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED = 0.12 SQ. IN. / LIN. FT. (BOTH WALLS).
 3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WALLS).
 4. ONE POUR MOUNTING BASE SECTION.
 5. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 6. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 7. ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED 14-25 LOADING (SEE STD. 4.7.2).
 8. ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 9. REFER TO STD. 5.2.0 FOR MAXIMUM PIPE SIZES.

PRECAST 4'-0" ROUND MANHOLE DETAIL (RIDOT 4.2.0)
SCALE: NOT TO SCALE

1	CITY PRELIM AND FINAL APPLICATION	03SEP19	
No.	Revision	Date	App.
Designed By:	JJR	Drawn by:	DJW
Scale:	AS SHOWN	Date:	13APR17
Project Title:	A.P. 41, LOT 14 90 HARRISON AVENUE FORMER UNDERWOOD SCHOOL NEWPORT, RHODE ISLAND		
Client/Owner:	SCHOOLYARD PROPERTIES LLC 19 BRENTON ROAD NEWPORT, RI 02840		
Issued for:	PERMITTING		
Drawing Title:	DETAIL SHEET		
Drawing Number:	C-7		
Sheet	7 of 7		
Project Number:	16068.1		
Survey Index:	14 - 41 - 14		
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