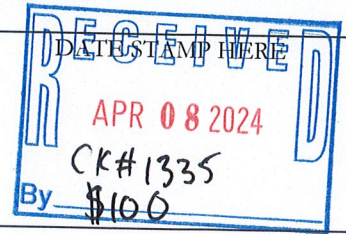




Newport Zoning Application

ZBR 2024 - MAY - 009

(This box for staff use only)



Date: April 8, 2024

Board members:

The undersigned hereby petitions the Zoning Board of Review for a special use permit or a variance in the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Location of Premises

Street & No: 40 Cranston Ave

Tax Assessor's Plat: 19 Lot: 008-4 Zoning District: R-10

- Special Use Permit (Non-Conforming Alteration) Regulatory (Dimensional) Variance
- Special Use Permit (New Use) Use Variance Modification

Property Owner: Paul and Elizabeth Sander

Mailing Address: 12 The Farms Road, Bedford, NY 10506

Email Address: plsander@verizon.net esander@odysseygroup.com

Phone Number: 203-252-7466

How long have you been the owner of the above premise? 3 months

Legally Authorized Representative *if applicable: Spencer McCombe

Mailing Address: 42 West Main Road, Middletown, RI 02842

Email Address: spencer@cordtsendesign.com Phone Number: 401-619-4689

Lessee: _____

Mailing Address: _____

Email Address: _____ Phone Number: _____



Newport Zoning Application

Property Characteristics

Dimensions of lot-frontage: 90.32' ft. Lot Area: 12,627 sq. ft.

Are there buildings on the premises at present? Yes

Total square footage of the footprint of existing buildings: 2,766.84 sq. ft.

Total square footage of the footprint of proposed buildings: 2,766.84 sq. ft.

Zoning Characteristics Matrix

	Existing	Required/Allowed	Proposed
Lot Size (sq. ft.)	12,627 sq ft	10,000 sq ft	12,627 sq ft
Coverage Area (sq. ft)	2,752 sq ft	2,526.8 sq ft	2,752 sq ft
Lot Coverage (%)	21.8%	20%	21.8%
Dwelling Units	3	Single-two family	1
Parking (# of spaces)	5	2	5
Front Setback (ft.)	18.1'	15'-0"	18.1'
Side Setbacks (ft.)	10.9' L	10'-0"	13.5'
Rear Setback (ft.)	66.6'	20'-0"	55.8'
Height (ft.)	40'-8" +/-	30'-0"	40'-8" +/-



Newport Zoning Application

All of the following information and questions must be filled in and answered completely.

Present use of Premise: Multi-Family Dwelling Unit

Proposed use of Premise: Single Family Home

Summary of Proposed Alterations

This application is a request for a special use variance to demolish the existing two car garage, a portion of the existing side porch, and various stairways, to use that lot coverage square footage to create a two story addition at rear with a flat roof deck above, a single story open air car port attached to existing side porch, and single story addition at side (west). The special use permit is being requested to maintain the non conforming lot coverage calculations, and redispense where the lot coverage occurs.

A height variance is being requested to rebuild the existing shed dormer in place, with a ceiling height that meets modern day building code. The existing building is above the allowable height, therefore making the dormer roof extend beyond the allowable height constraints.

A special use permit is also being requested for the flat roof deck at the proposed rear additions.



Newport Zoning Application

Applicant Statement

How does your application meet the required standards for variance(s) or special use permit(s)?
(See page 6 for most common applicable standards)

The existing home and garage create a lot coverage overage for the parcel, to no fault of the owner. In attempts to convert this apartment style dwelling into a single family home a special use permit is being requested to redispurse the lot coverage to create a kitchen and dining room suitable for modern living with a family.

Granting this request will not create dimensional nonconformities to such a degree that are inconsistent with the rest of the neighborhood, or intrusive to surrounding neighbors. Denying this request would create an unnecessary burden to the homeowners, as the existing home is not conducive for modern conditions of living with a family, which is to no fault of their own. With the proposed modifications, the home will still be an appropriately sized home for the neighborhood.

The denial of the request for relief would create unreasonable hardship to the homeowner, denying the ability to create a home conducive to today' s modern living standards. The proposed renovations are appropriate and consistent with the surrounding neighborhood and the rights enjoyed by other property owners in the zone. Many neighboring homes have similarly sized homes and balconies to enjoy the outdoors.

In efforts to seek the least relief necessary, the lot coverage will be kept exactly the same, and all additions are being kept within the setbacks. The proposed dormer height is driven by a seven foot plate height at the exterior wall, creating the minimum ceiling height for the proposed living space. The granting of this request for relief will not create a burden or hardship for abutting property owners, and will maintain a harmonious look for the neighborhood.



Newport Zoning Application

Upon submittal of this application, please make sure you have also reviewed our Zoning Application Submittal Requirements packet, and included with your application, a copy of the Submittal Checklist which can also be found here: [Zoning Application Submittal Requirements](#). If an application is missing any submittal requirements and/or necessary application information, your application may be regarded incomplete. Incomplete applications will not be publicly advertised or appear on an agenda until the project is deemed complete.

By signing below, I hereby attest that the information provided is accurate and truthful. I also attest that I have read through this application thoroughly and understand what is required to submit a completed application.

Paul J. Fonder

Applicant Signature

4/7/24

Date

Paul J. Fonder

Owner Signature

4/7/24

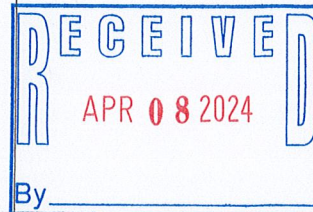
Date



Newport Zoning Application Submittal Requirements

ZBR 2024 - MAY - 009

DATE STAMP HERE



- Special Use Permit (new)
 - Variance
 - Special Use Permit (modification)
 - Modification
- (This box for staff use only)*

SUBMITTAL REQUIREMENTS CHECKLIST

Applications that are missing materials in this checklist will not be accepted for review.

Section 1 – Application Forms – Page 3 of the Guide Required for All Projects

- A. Completed Zoning Project Application Packet comprised of the following individual sections:
 1. Zoning Project Application Form
 2. Completed copy of this Zoning Application Submittal Requirements Checklist (Page 2)
- B. Request to Waive any Submittal Requirements (*if applicable*)
- C. Application Fee (Please Refer to Current Fee Schedule)

Section 2 – Plan Package – Pages 4-7 of the Guide Required for All Development Projects (Involving New Structures, Additions, Exterior Alterations, etc.) Individual requirements of the Plan Package (listed below) may differ depending on the project

- A. Class I Site Survey
- B. Proposed Site Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Stormwater Management Plan
- F. Landscape Plan
- G. Building Elevations
- H. Change of Use

Section 3 – Supporting Documents, Studies, Graphics, and Depictions – Page 8 of the Guide May be required for certain Development Projects

- A. Site Photographs
- B. Photo Simulations
- C. Structural Evaluation
- D. Parking Survey
- E. Traffic Impact Analysis

Address: 40 Cranston Ave
 Parcel ID: 19-008-4
 Zone: R-10
 Lot Area: 12627
 Min. Lot Area: 10000

Calculating % Deficient

$$\frac{12627 \text{ (L.S.)}}{10000 \text{ (M.L.S.)}} = 126.3\% \text{ (M.L.S. \%)}$$

$$100\% - 126.27\% \text{ (M.L.S. \%)} = -26.3\% \text{ (\% Deficient)}$$

Setbacks

Front	15 (Req. FYSB)	X	126.27% (M.L.S. %)	=	15.00 (New FYSB)
Side	10 (Req. SYSB)	X	126.3% (M.L.S. %)	=	10.00 (New SYSB)
Rear	20 (Req. RYSB)	X	126.3% (M.L.S. %)	=	20.00 (New RYSB)

Modification Numbers		Basic	Proportioned	5% Mod. Prop.	15% Mod. Prop.
Lot Coverage		20%	20.00%	21.000%	23.00%
Height		30	30	31.5	34.5
Setbacks		F 15 S 10 R 20	15.00 10.00 20.00	14.25 9.5 19.00	12.75 8.50 17.00

Lot Coverage

$$20\% \text{ (Permitted L.C.)} + (-26\% \text{ (\% Deficient)}) \times 20\% \text{ (Permitted L.C.)} = 20.00\% \text{ (New Lot Cov.)}$$

Legend	
L.S.	Actual Lot Size of Subject Property
M.L.S.	Minimum Lot Size for the District
M.L.S. %	% of the Minimum Lot Size
% Deficient	Deficiency of the Lot Size to the Minimum Required Lot Size
FYSB	Front Yard Setback (in feet)
SYSB	Side Yard Setback (in feet)
RYSB	Rear Yard Setback (in feet)
Permitted L.C.	Permitted Lot Coverage in the District

NOTE: This ONLY applies to properties that have a lot size smaller than the minimum lot area required by the zoning district. Properties that exceed the minimum lot size follow the standards requirements



PROGRESS PRINT
 DATE: 04/08/2024
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REVISIONS:

DESCRIPTION: COVER SHEET
 SCALE: N/A
 DATE: April 8th, 2024

SANDER RESIDENCE
 40 Cranston Ave
 Newport, RI 02840

CORDTSEN
 DESIGN
 ARCHITECTURE

42 West Main Road
 Middletown, RI 02842

CordtsenDesign.com
 401.619.4689



SANDER RESIDENCE

40 Cranston Ave
 Newport, RI 02840

Zoning Submission: April 8th, 2024

DRAWING LIST

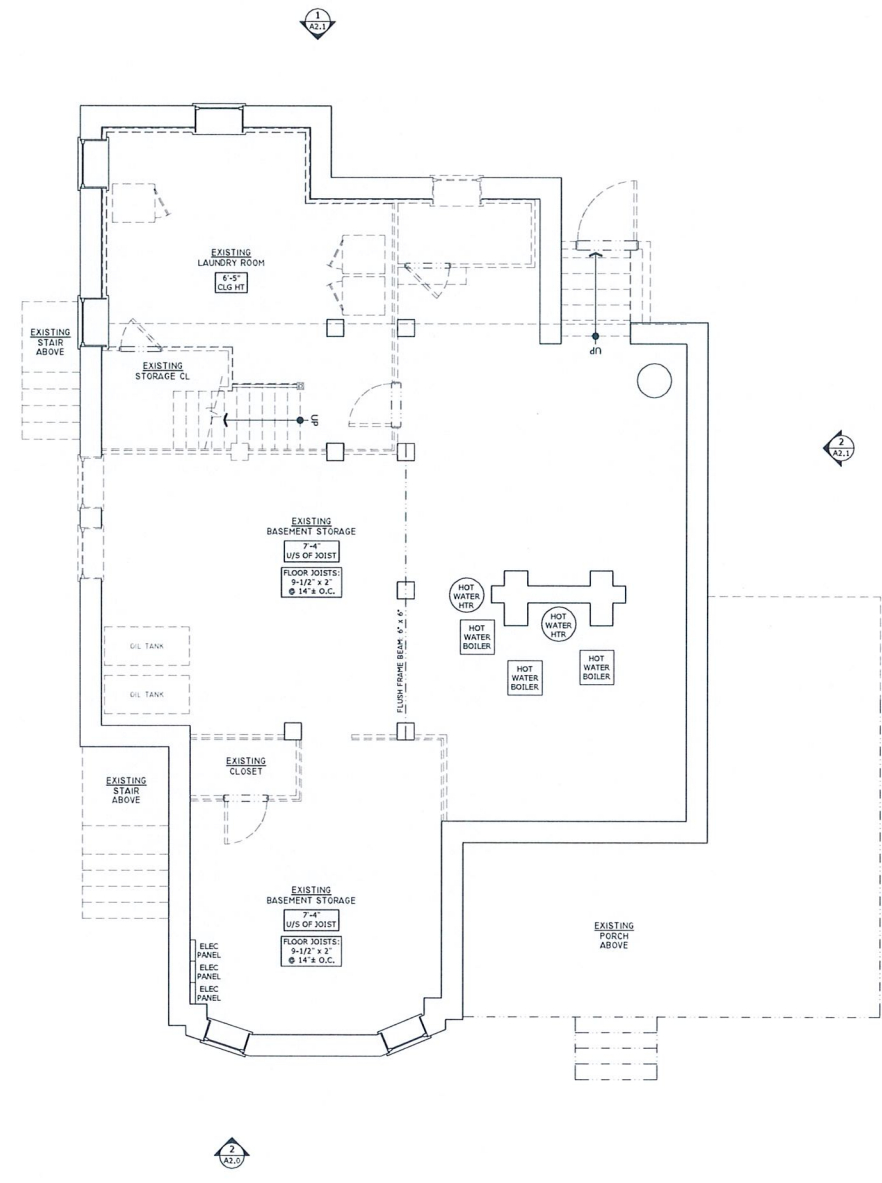
ARCHITECTURAL DRAWINGS

- D1.0 BASEMENT AND FIRST FLOOR DEMOLITION PLANS
- D1.1 SECOND AND THIRD FLOOR DEMOLITION PLANS
- D1.2 ROOF DEMOLITION PLAN
- A1.0 PROPOSED BASEMENT AND FIRST FLOOR PLANS
- A1.1 PROPOSED SECOND AND THIRD FIRST FLOOR PLANS
- A1.2 PROPOSED ROOF PLAN
- A2.0 EXISTING AND PROPOSED EXTERIOR ELEVATIONS
- A2.1 EXISTING AND PROPOSED EXTERIOR ELEVATIONS

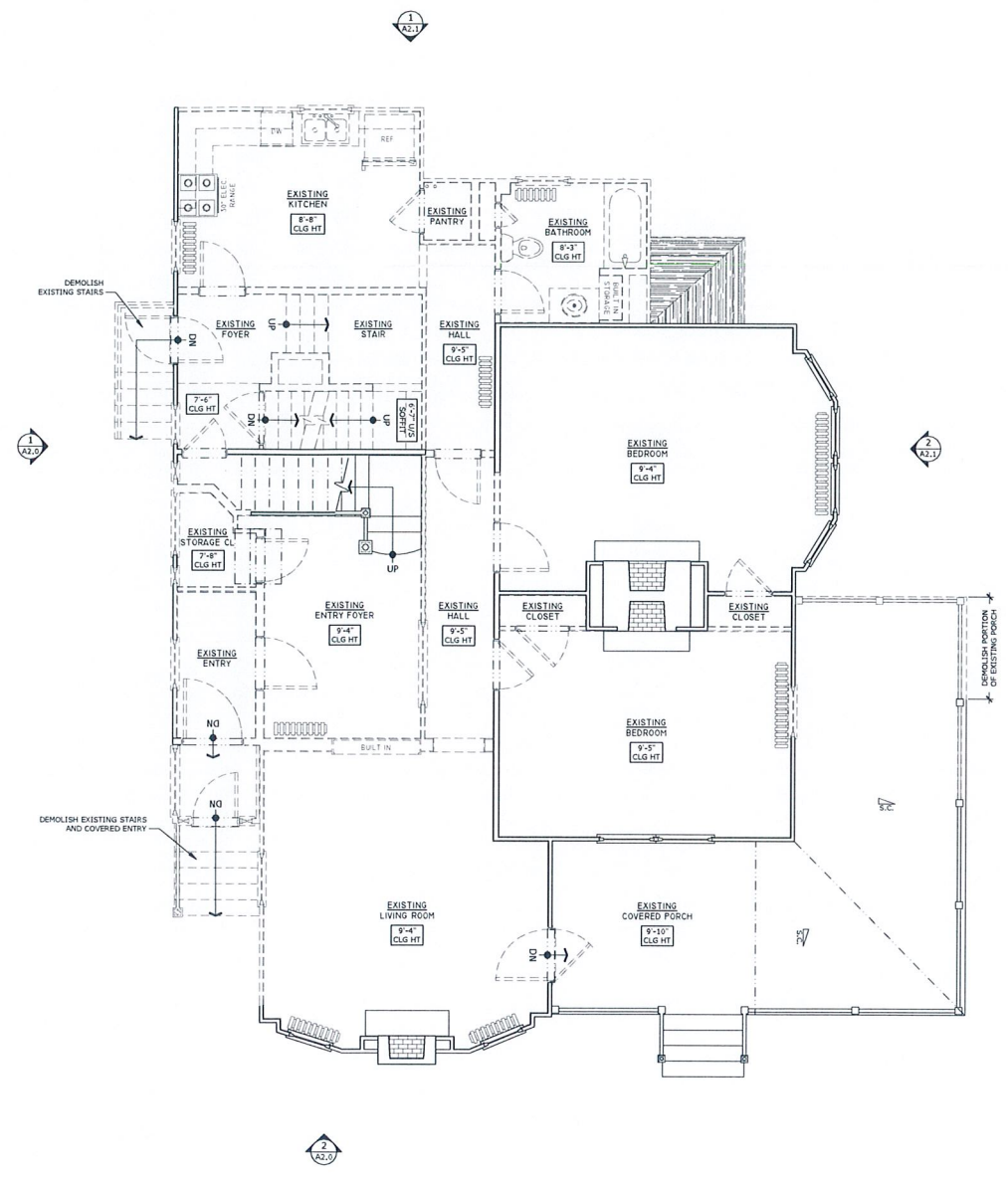


**CORDISEN
ARCHITECTURE**
42 West Main Road
Westport, RI 02884
Cordisese@cordise.com
401.719.4999

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DATE: 04/08/2024
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1 DEMOLITION BASEMENT PLAN
Scale: 1/4" = 1'-0"



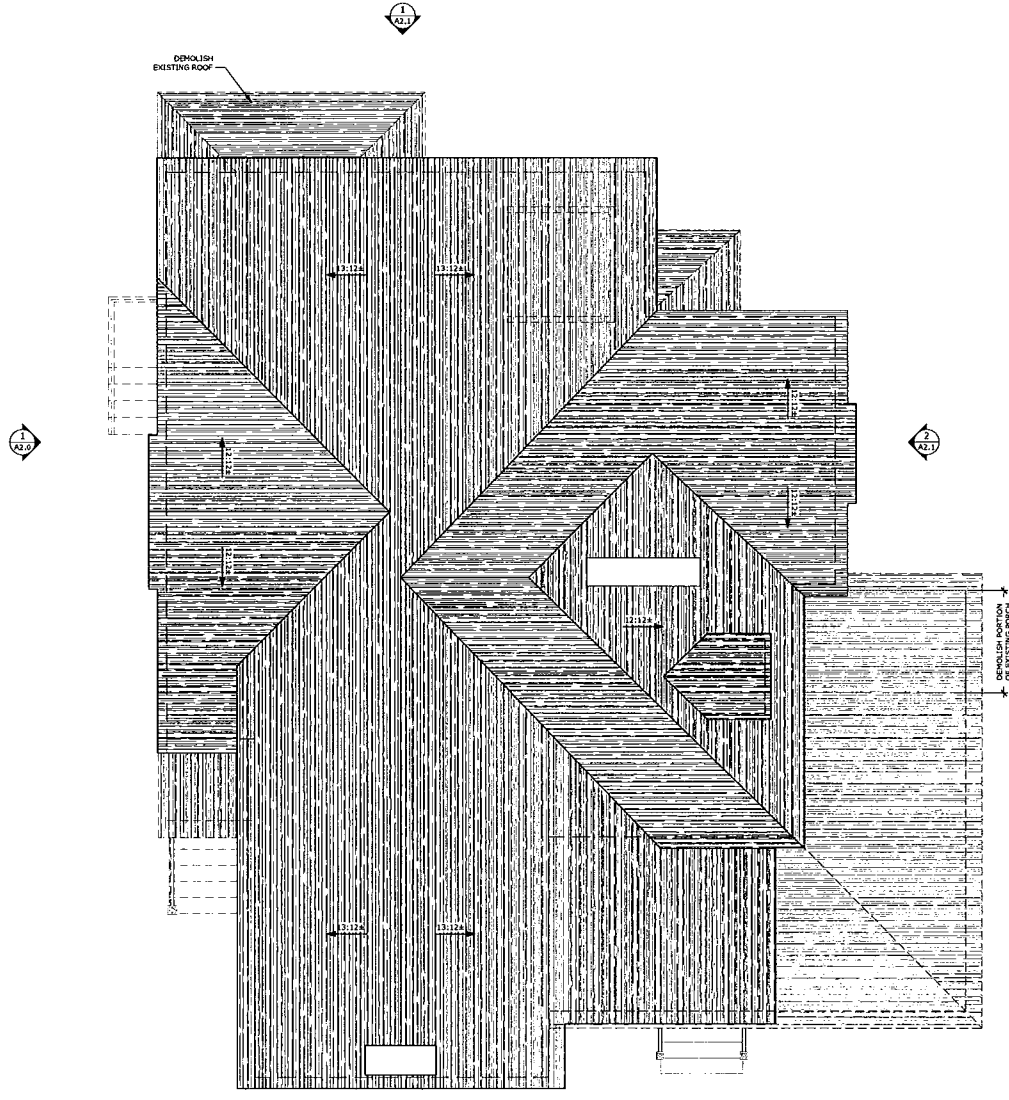
2 DEMOLITION FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS:
DESCRIPTION: BASEMENT AND FIRST FLOOR DEMOLITION PLANS
SCALE: 1/4" = 1'-0"
DATE: April 8th, 2024

SANDER RESIDENCE
40 Cranston Ave
Newport, RI 02840

D1.0

DATE OF PREPARATION: 04/08/2024. THIS PRINT IS NOT TO BE USED FOR ALTERNATE PROJECTS. PREPARED BY: CORDISEN ARCHITECTURE. CHECKED BY: CORDISEN ARCHITECTURE. APPROVED BY: CORDISEN ARCHITECTURE. PROJECT NO: 2024-001.



1 DEMOLITION ROOF PLAN
Scale: 1/4" = 1'-0"

D1.2

SANDER RESIDENCE
40 Cranston Ave
Newport, RI 02840

DESCRIPTION:
ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

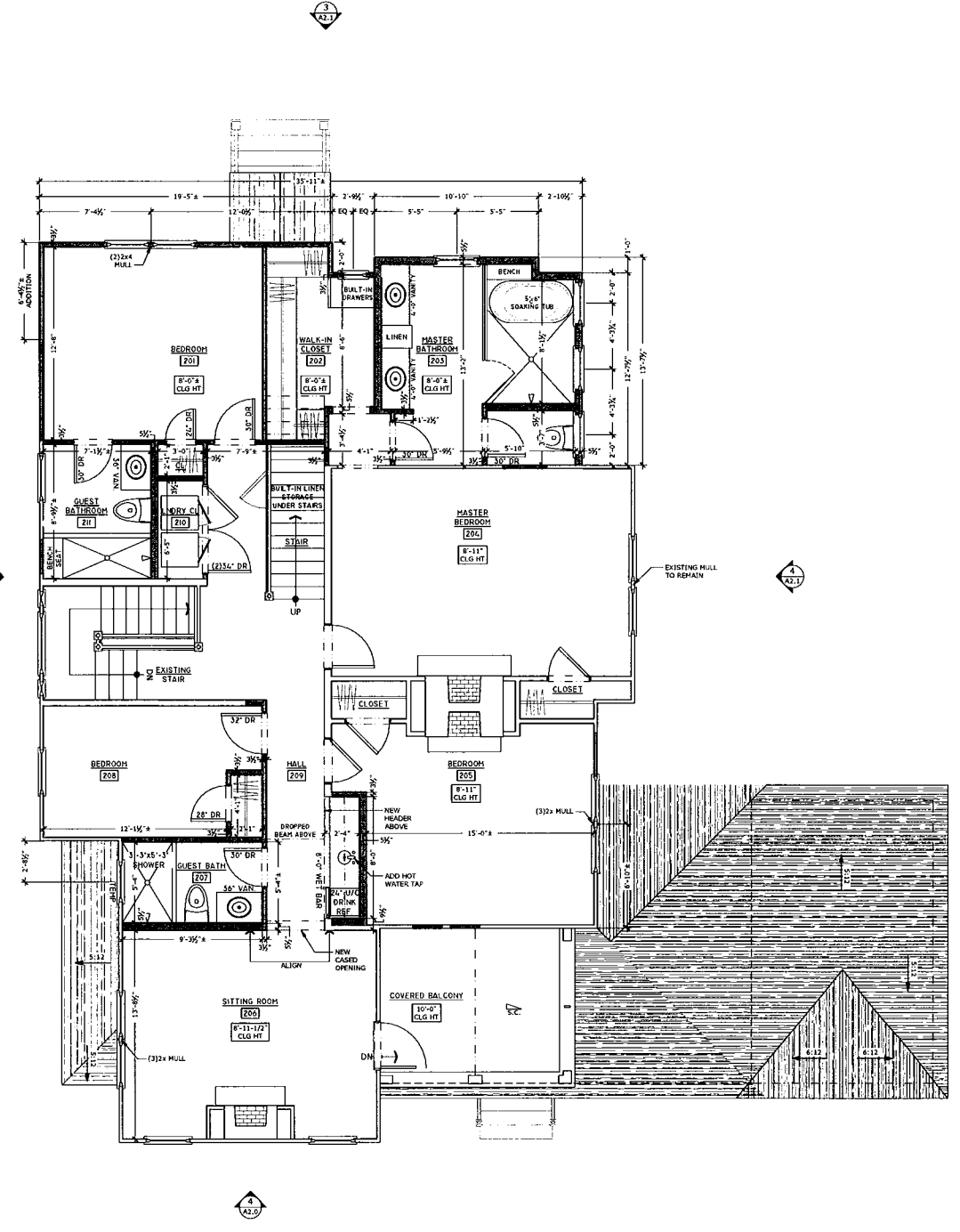
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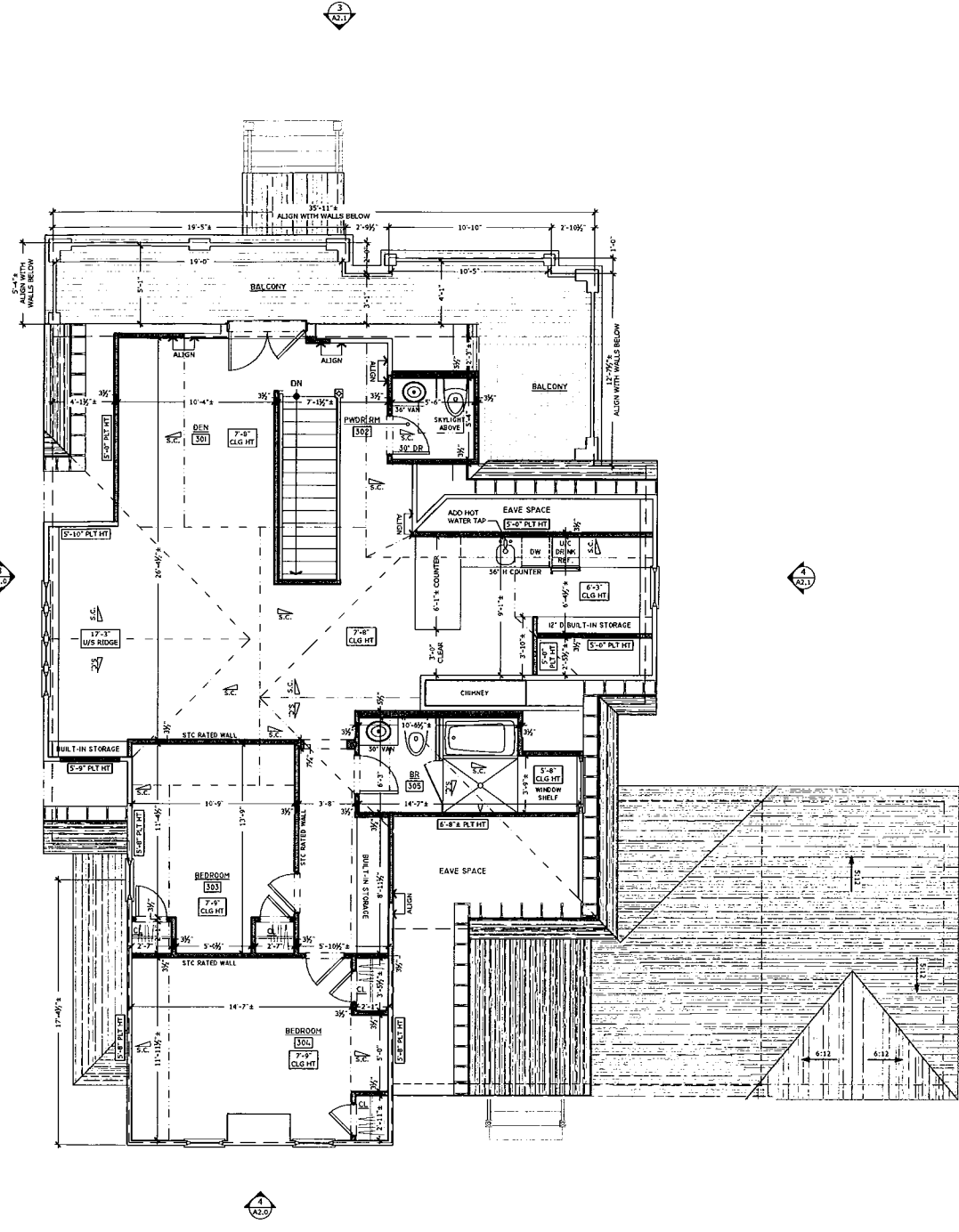
PROGRESS PRINT
DATE: 04/08/2024
NOT FOR CONSTRUCTION

CDA

CORPUS
DESIGN
ARCHITECTURE
42 West Avenue Road
Newport, RI 02840
CDA@CDAARCH.COM
401.741.4499



1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

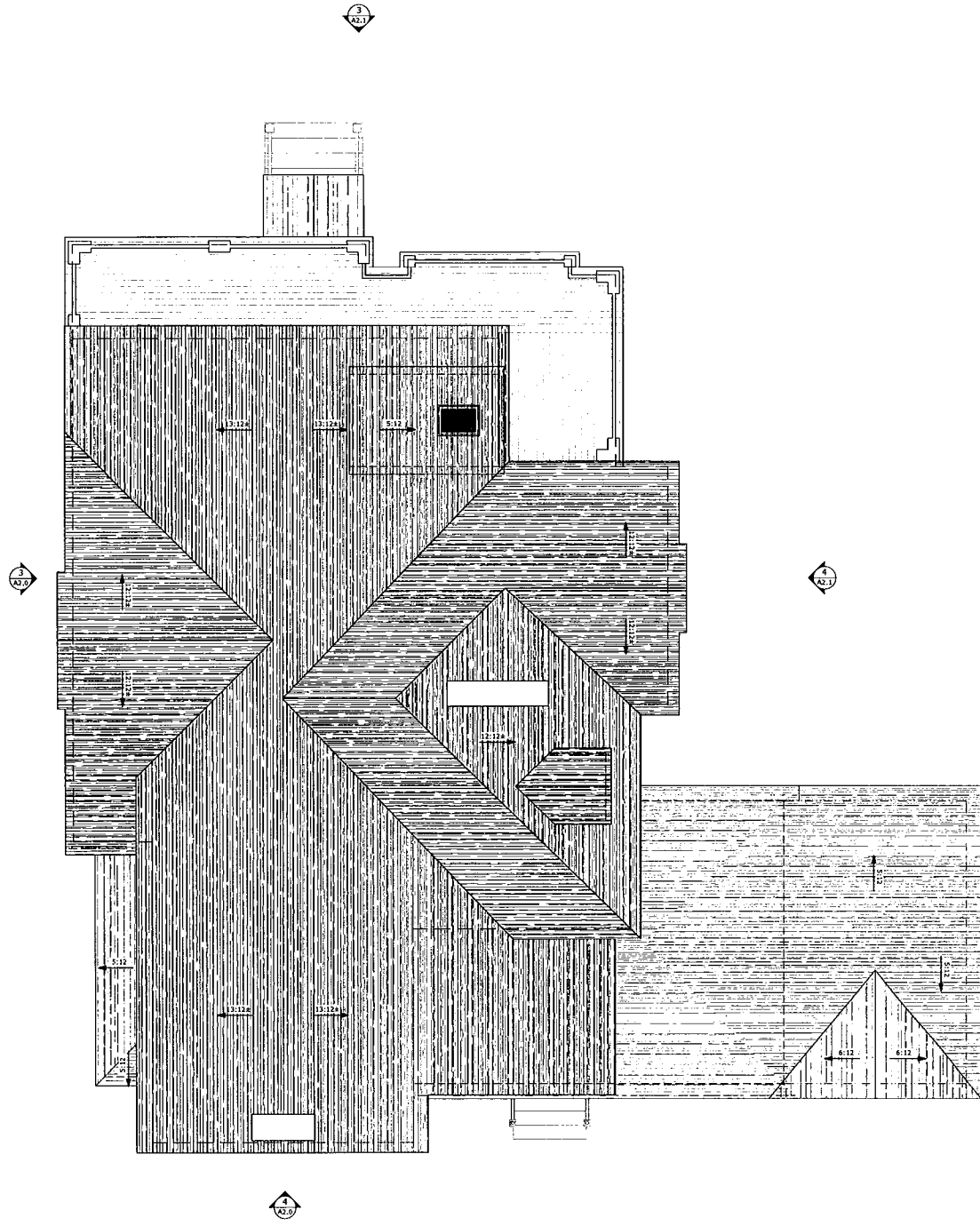


2 PROPOSED THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"

REVISIONS:

DESCRIPTION:	PROPOSED FLOOR PLANS
SCALE:	1/4" = 1'-0"
DATE:	April 8th, 2024

SANDER RESIDENCE
40 Cranston Ave
Newport, RI 02840



1 PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"

DATE: 04/08/2024

A1.2

SANDER RESIDENCE
40 Cranston Ave
Newport, RI 02840

DESCRIPTION:
PROPOSED ROOF PLANS

SCALE: 1/4" = 1'-0"

DATE: April 8th, 2024

REVISIONS:

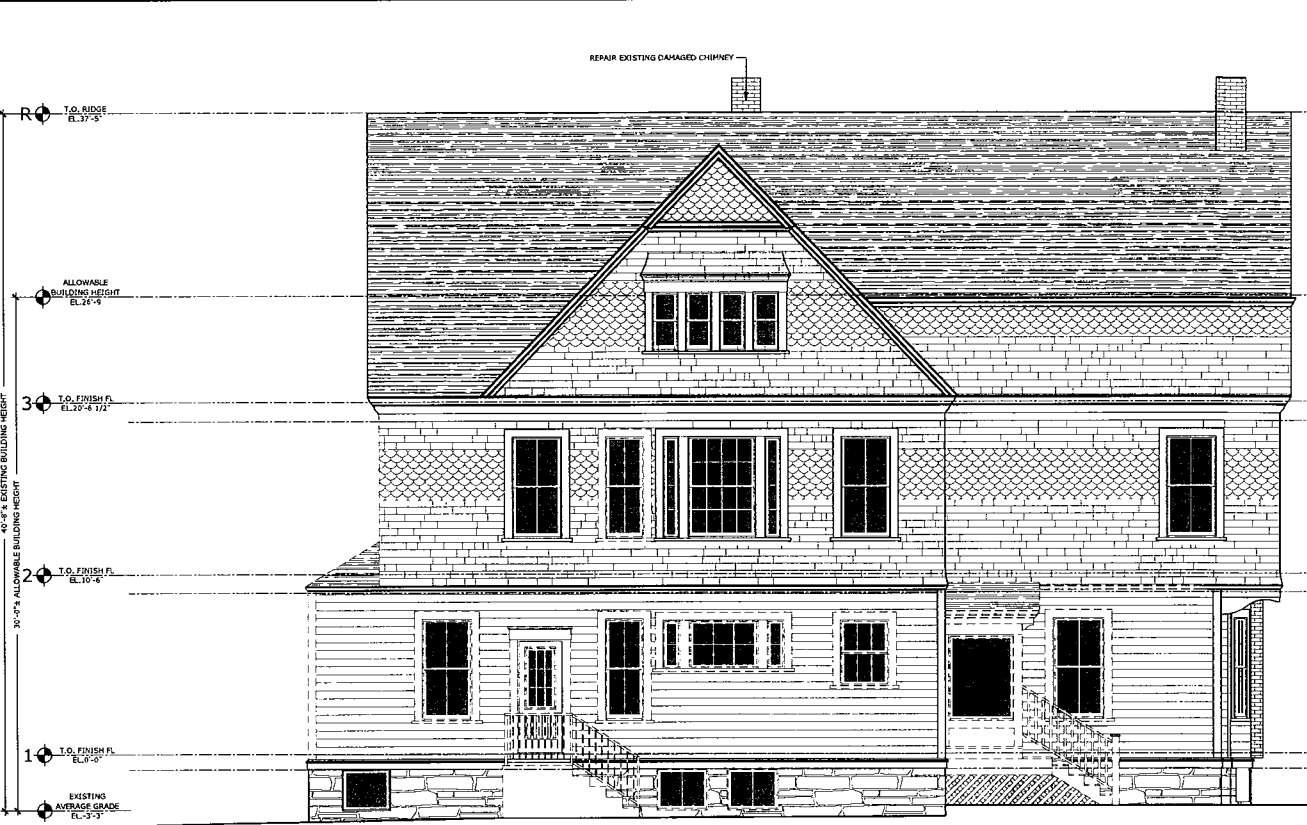
PROGRESS PRINT
DATE: 04/08/2024
NOT FOR CONSTRUCTION

CDA

CORDIEN
ARCHITECTURE
40 West Main Road
Newport, RI 02840
CORDIEN@CDA-RI.COM
401.741.1400

TYP. EXTERIOR FINISHES KEY NOTES
 CONTRACTOR TO SUPPLY SAMPLES TO CLIENT & ARCHITECT FOR APPROVAL. COLOR & MATERIAL SELECTIONS TO BE VERIFIED BY OWNER PRIOR TO ORDER.

E1	GENERAL FINISHES KEY NOTES 1/2" THICK AGGREGATE-FREE FEATHER-FINISHING ARCHITECTURAL MORTAR APPLIED TO EXPOSED CONCRETE FOUNDATION FINISH: SMOOTH COLOR: SELECT BY OWNER
E2	SHINGLE SIDING 5/8" OR EQUAL SHINGLES, 100% EDGE GRAIN, 100% ALL HEAT WOOD, 100% ALL CLEAR SIZE & SPECIES: 14" PERSPECTIVE W. 5" EXP. GRADE & SPECIES: SIDEWALL SELECT ALL RAR WESTERN RED CEDAR FINISH: PAINTED, ALL SIDES; COLOR TO BE SELECT BY OWNER OPTIONAL: PRESSURE IMPREGNATED PRESERVATIVE W. 1/4" U.S. FASTENERS INSTALLATION: INSTALL OVER VENTILATED BRICKLAYER BLENDED CLASSIC RAINGUTTERS BY BENJAMIN OBYDKE OR SIMILAR; WOVEN INSIDE AND OUTSIDE CORNERS
E3	DECORATIVE SHINGLE SIDING MANU: TBD PRODUCT: HALF ROUNDS COLOR: PRIME, PAINTED; COLOR TO BE SELECT BY OWNER SHINGLE SIDING; 7" EXPOSURE (CONFORM WITH OWNER PRIOR TO ORDERING)
E4	CLAPBOARD SIDING SIZE & SPECIES: 1 1/4" x 14" LONG GRADE & SPECIES: WESTERN RED CEDAR, CLEAR VERTICAL GRAIN HEAVY FINISH: PAINTED, ALL SIDES; COLOR TO BE SELECT BY OWNER INSTALLATION: 3/16" S.S. FASTENERS; INSTALL OVER VENTILATED UNDERLAYMENT SLICKER CLASSIC RAINGUTTERS BY BENJAMIN OBYDKE
E5	CORNER BOARD 1/4" PVC TRIMBOARD (SIZE TO MATCH EXISTING); PAINTED COLOR: SELECT BY OWNER
E6	ASPHALT ROOF SHINGLES COLOR: MATCH EXISTING
E7	ROOF GUTTERS : (NOT DEPICTED) WOOD GUTTERS AND LEADERS TO BE REPAIRED IN PLACE. NEW PVC GUTTERS TO MATCH EXISTING PROFILE IN NEW LOCATIONS; CONTRACTOR SHALL SUPPLY ADEQUATE GUTTER & LEADERS FOR POSITIVE DRAINAGE OF ALL ROOF SURFACES SEAMLESS GUTTERS (TO MATCH EXISTING) w/ DOWNSPOUTS (TO MATCH EXISTING) TO ROOFS TIED INTO STORM WATER MANAGEMENT SYSTEM DESIGNED BY OTHERS; HANGERS SHALL BE #30 COMBINATION CIRCLE & SHANK w/ SPRING CLIP SPACED @ 24" O.C. BY BERGER BUILDING PRODUCTS OR SIMILAR
E8	FASCIA PVC DOWN TO MATCH EXISTING HOUSE, PAINTED COLOR: SELECT BY OWNER
E9	FRIZEE 1/4" PVC TRIMBOARD (SIZE TO MATCH EXISTING); PAINTED COLOR: SELECT BY OWNER
E10	RAIL PVC DOWN TO MATCH EXISTING HOUSE, PAINTED COLOR: SELECT BY OWNER
E11	TYP. WINDOW & DOOR TRIM PVC 1" RIB SILL MOULD; 5/8" SIDE CASING; 6/4" HEAD CASING w. 5/8" SLOPED CAP; FLASHING OVER CAP; FIELD CUT TO FIT REQUIRED SIZE. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR SPECIFIC LOCATIONS OF EXTERIOR TRIM
E12	ORNAMENTAL BRACKET & TO MATCH EXISTING
E13	DECKING EXISTING WOOD DECK BOARD FINISH: SELECT BY OWNER
E14	GUARD & HANDRAIL : WOOD, PAINTED HANDRAIL: 1 1/2" RAIL (4" O.C. WIDE x 1 1/2" TALL WITH 3/8" WIDE BOTTOM CHANNEL) w. 2x4 SUB-RAIL (2" RAIL) WIDE 2" TALL PAINTED BALUSTERS: 3" x 2" VICTORIAN CEDAR BALUSTER @ 36" HIGH RAILING LOCATIONS, 3" x 3" BALUSTER @ 42" HIGH LOCATIONS, PREMIUM KILN-DRIED WESTERN RED CEDAR, BY VINTAGE WOODWORKS OR SIMILAR, PAINTED NEWEL: CHAMFERED STYLE IF WHERE DEPICTED, PAINTED
E15	TYP. WINDOW & DOOR HEAD CASING 5/8" RAIL HOLDING w. 2" HEAD CASING w. 5/8" SLOPED CAP; FLASHING OVER CAP; FIELD CUT TO FIT REQUIRED SIZE. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR SPECIFIC LOCATIONS OF EXTERIOR TRIM
E16	PVC COLUMN WRAP FIBRE REINFORCED CELLULAR PVC FOR NON-LOAD BEARING; 8" SQUARE w. 5/4" SIDE CASING RECESSED; CAP: TURCAN BASE: ODE PAINTED; COLOR SELECT BY OWNER
E17	DECORATIVE PANELING PVC PANEL AND SCOTCH w. 5/4" SIDE CASING RECESSED; 2" SUBSILL MOULD BELOW WINDOW
E18	BEAM WRAP 1/4" PVC, PAINTED FIELD CUT TO FIT REQ. SIZE; ALIGN w. FACE OF COLUMN
E19	FOUNDATION TRIM BAND 1/4" PVC, PAINTED PROFILE TO MATCH EXISTING
E20	PEDESTAL WRAP PERMANENT PEDESTALS BY H&G OR SIMILAR; PAINTED
-PAINT AND REPAIR ALL EXISTING SIDING- WOOD GUTTERS AND LEADERS TO BE REPAIRED IN PLACE. NEW PVC GUTTERS TO MATCH EXISTING PROFILE IN NEW LOCATIONS.	
NO PENETRATIONS & TERMINATIONS THRU EXT. WALLS FOR PLUMB., ELEC., OR MECH. UNLESS APPROVED BY ARCHITECT.	
EXTERIOR LIGHTING CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS WITH OWNER'S SELECTIONS FOR EXTERIOR LIGHT FIXTURES PACK OUT ALL TRIM AS REQUIRED TO ACCEPT SIDING TRIM ALTERNATE: CONTRACTOR MAY SUBSTITUTE PVC TRIM w. POLY-ASH COMPOSITE BY TRU EXTERIOR & DURATION	



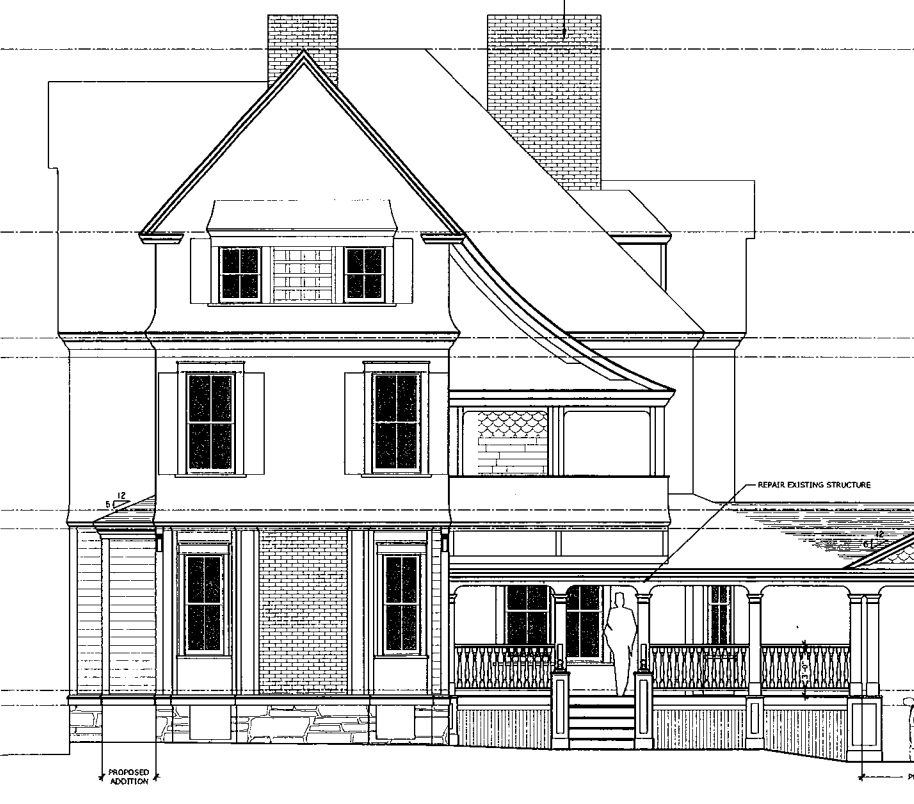
1 EXISTING WEST ELEVATION
 Scale: 1/4" = 1'-0"



2 EXISTING SOUTH ELEVATION
 Scale: 1/4" = 1'-0"



3 PROPOSED WEST ELEVATION
 Scale: 1/4" = 1'-0"



4 PROPOSED SOUTH ELEVATION
 Scale: 1/4" = 1'-0"

REVISIONS:

DESCRIPTION:	PROPOSED EXTERIOR ELEVATIONS
SCALE:	1/4" = 1'-0"
DATE:	April 8th, 2024

SANDER RESIDENCE
 40 Cranston Ave
 Newport, RI 02840

A2.0

TYP. EXTERIOR FINISHES KEY NOTES
 CONTRACTOR TO SUPPLY SAMPLES TO CLIENT & ARCHITECT FOR APPROVAL; COLOR & MATERIAL SELECTIONS TO BE VERIFIED BY OWNER PRIOR TO ORDER

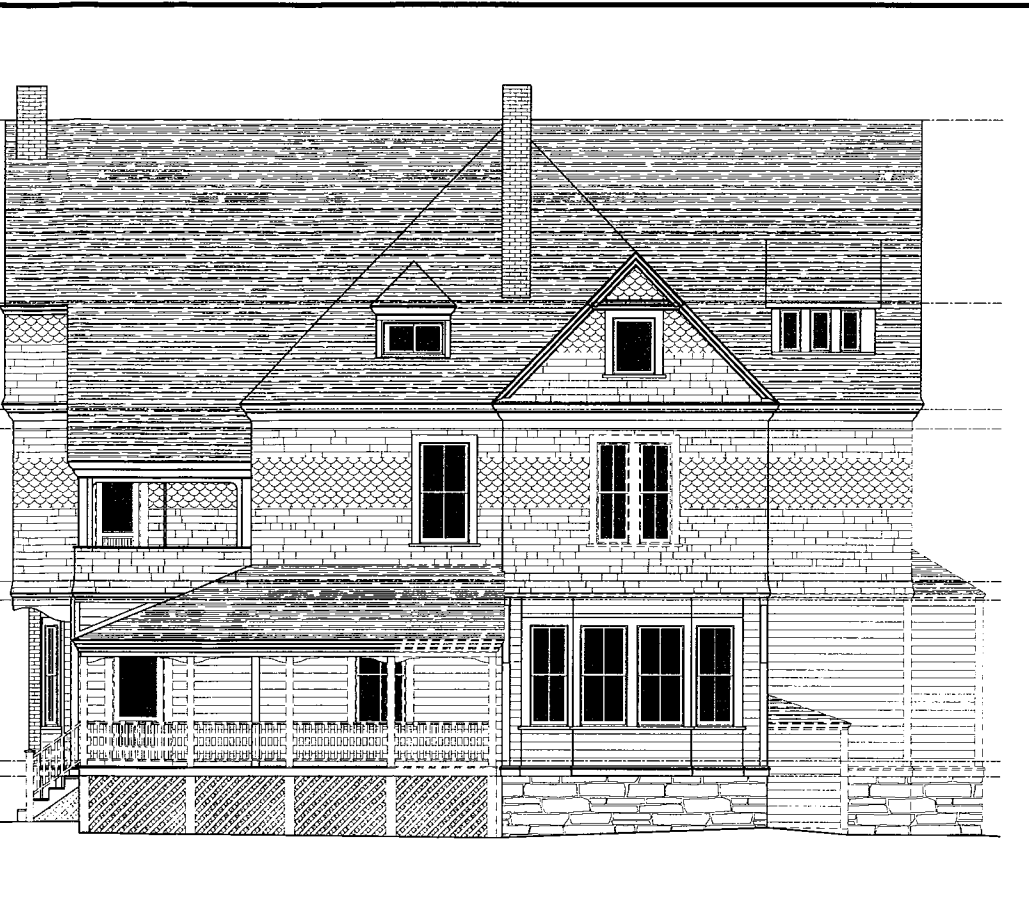
E1	CEMENTITIOUS PARGE COAT: 1/2" THICK AGGREGATE-FREE FEATHER-FINISHING ARCHITECTURAL MORTAR APPLIED TO EXPOSED CONCRETE FOUNDATION FINISH: SMOOTH COLOR: SELECT BY OWNER
E2	SHINGLE SIDING: 5/8" OR EQUAL SHINGLES, 100% EDGE GRAIN, 100% ALL HEARTWOOD, 100% ALL CLEAR SIZE & EXPOSURE: 18" PERFECTION W. 5" EXP. GRADE & SPECIES: SIDEWALL SELECT AS PER WESTERN RED CEDAR FINISH: PAINTED, ALL SIDES; COLOR TO BE SELECT BY OWNER OPTIONAL: PRESSURE IMPREGNATED PRESERVATIVE W. 2 1/2% S.S. FASTENERS INSTALLATION: INSTALL OVER VENTILATED UNDERLAYMENT & COLOR CLASSIC PAINTS/STAIN BY BENJAMIN OBOYDE OR SIMILAR; WOVEN INSIDE AND OUTSIDE CORNERS
E3	DECORATIVE SHINGLE SIDING: PANELED TYP PRODUCT: HALF ROUNDS COLOR: PRIME, PAINTED; COLOR TO BE SELECT BY OWNER SHINGLE SIDING; 7" EXPOSURE (CONFORM WITH OWNER PRIOR TO ORDERING)
E4	CL ANNOUATED SIDING: SIZE & EXPOSURE: 1 3/8", 16 LONG GRADE & SPECIES: WESTERN RED CEDAR, CLEAR VERTICAL GRAIN HEART FINISH: PAINTED, ALL SIDES; COLOR TO BE SELECT BY OWNER INSTALLATION: 3/16 S.S. FASTENERS, INSTALL OVER VENTILATED UNDERLAYMENT & COLOR CLASSIC PAINTS/STAIN BY BENJAMIN OBOYDE
E5	CORNER BOARD: 5/8" PVC TRIMBOARD/SIZE TO MATCH EXISTING/PAINTED COLOR: SELECT BY OWNER
E6	ASPHALT ROOF SHINGLES COLOR AND STYLE TO MATCH EXISTING
E7	ROOF GUTTERS (NOT DEPICTED) WOOD GUTTERS AND LEADERS TO BE REPAIRED IN PLACE. NEW PVC GUTTERS TO MATCH EXISTING PROFILE IN NEW LOCATIONS; CONTRACTOR SHALL SUPPLY ADEQUATE GUTTER & LEADER FOR POSITIVE DRAINAGE OF ALL ROOF SURFACES SEAMLESS GUTTERS (TO MATCH EXISTING) w/ DOWNSPOUTS (TO MATCH EXISTING) TO BOOTS TIED INTO STORM WATER MANAGEMENT SYSTEM DESIGNED BY "OTHERS"; HANGERS SHALL BE #30 COMBINATION CIRCLE & SHANK W/ SHINGLES CLIP SPACED @ 24" O.C. BY BERKER BUILDING PRODUCTS OR SIMILAR.
E8	PAINT: PVC DOWN TO MATCH EXISTING HOUSE, PAINTED COLOR: SELECT BY OWNER
E9	TRIM: 1 1/2" PVC TRIMBOARD/SIZE TO MATCH EXISTING, PAINTED COLOR: SELECT BY OWNER
E10	RAFTER PVC CROWN TO MATCH EXISTING HOUSE, PAINTED COLOR: SELECT BY OWNER
E11	TYP. WINDOW & DOOR TRIM: PVC 2" RAIL MOULD, STAIN SIDE CASING; 6/16" HEAD CASING w/ 5/8" SLOPED CAP; FLASHING OVER CAP, FIELD CUT TO FIT REQUIRED SIZE. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR SPECIFIC LOCATIONS OF EXTERIOR TRIM
E12	ORNAMENTAL BRACKET & TO MATCH EXISTING
E13	DECORATIVE 5/8" PVC W/ D.ECK BOARD FINISH: SELECT BY OWNER
E14	GUARD & HANDRAIL: WOOD, PAINTED HANDRAIL: 1 1/2" RAIL, 1/2" WIDE x 1 1/2" TALL WITH 3/8" WIDE BOTTOM CHANNEL w/ BSR4 SUB-RAIL RAIL: 1 1/2" RAIL, 1/2" WIDE x 1 1/2" TALL, PAINTED
E15	BALUSTERS: 2" x 2" VICTORIAN CEDAR BALUSTERS @ 36" HIGH RAILING LOCATIONS, 3" x 3" BALUSTERS @ 42" HIGH LOCATIONS, PREMIUM KILN-DRIED WESTERN RED CEDAR, BY VINTAGE WOODWORKS OR SIMILAR, PAINTED NEWEL: CHAMFERED STYLE 8" WHERE DEPICTED, PAINTED
E16	TYP. WINDOW & DOOR HEAD CASING: 5/8" HALF ROUND MOULDING w/ AFTER HEAD CASING w/ 5/8" SLOPED CAP; FLASHING OVER CAP, FIELD CUT TO FIT REQUIRED SIZE. REFER TO EXTERIOR ELEVATIONS AND DETAILS FOR SPECIFIC LOCATIONS OF EXTERIOR TRIM
E17	PVC COLUMN HEAD: 180° PERMANENT CELLULAR PVC FOR NON-LOAD BEARING, 8" SQUARE w/ DECORATIVE HESKING CAP: TUGGAN BASE: DEBE PAINTED; COLOR SELECT BY OWNER
E18	DECORATIVE PANELING: PVC PANEL AND SCOTCH w/ 5/4x3 SIDE CASING RECESSED; 2" SUBSILL NOSE BELOW WINDOW
E19	BEAM WRAP: 5/8" PVC, PAINTED FIELD CUT TO FIT REQ. SIZE; ALIGN w. FACE OF COLUMN
E20	FOUNDATION TRIM BAND: 5/8" PVC, PAINTED PROFILE TO MATCH EXISTING
E21	PEDESTAL WRAP: PERMANENT PEDESTALS BY H&B OR SIMILAR; PAINTED
E22	NO PENETRATIONS & TERMINATIONS THRU EXT. WALLS FOR PLUMB., ELEC., OR MECH. UNLESS APPROVED BY ARCHITECT.
E23	EXTERIOR FINISHING: CONTRACTOR TO COORDINATE JUNCTION BOX LOCATIONS WITH OWNERS SELECTIONS FOR EXTERIOR LIGHT FIXTURES PACK OUT ALL TRIM AS REQUIRED TO ACCEPT SIDING TRIM ALTERNATE: CONTRACTOR MAY SUBSTITUTE PVC TRIM w/ POLY-ASH COMPOSITE BY TRU EXTERIOR & DURATION



PROGRESS PRINT
 DATE: 04/08/2024
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1 EXISTING NORTH ELEVATION
 Scale: 1/4" = 1'-0"



2 EXISTING EAST ELEVATION
 Scale: 1/4" = 1'-0"



3 PROPOSED NORTH ELEVATION
 Scale: 1/4" = 1'-0"



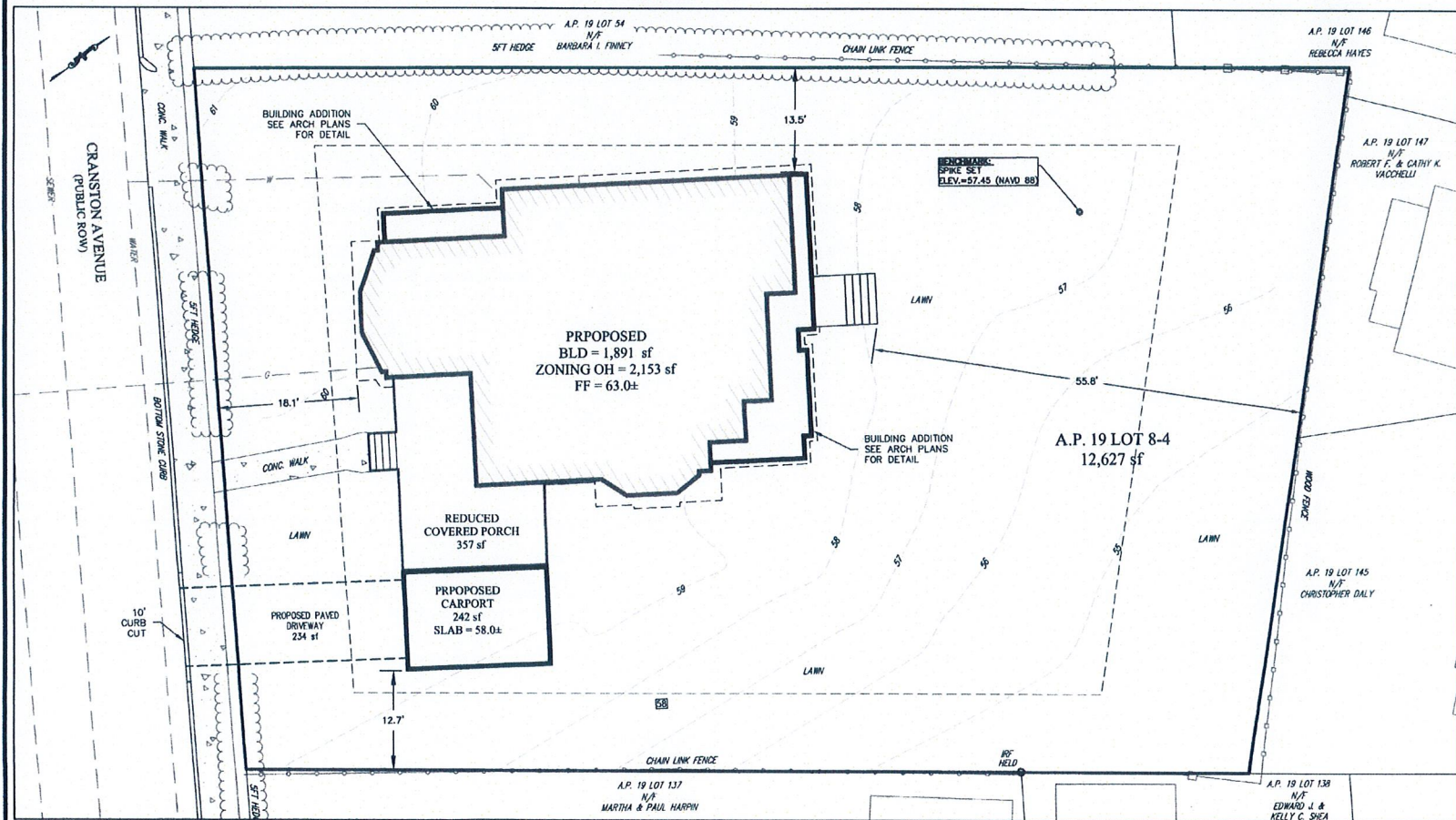
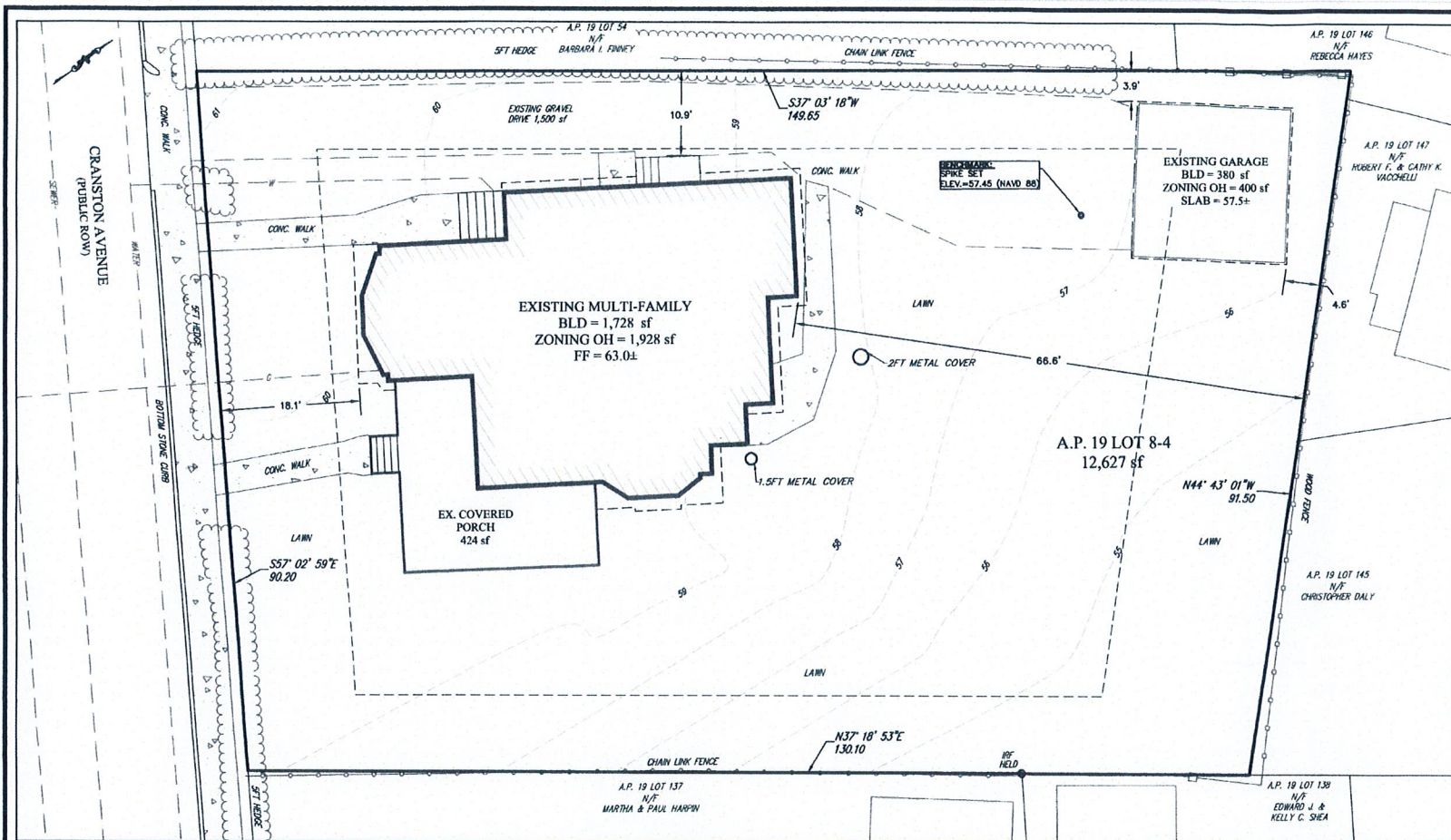
4 PROPOSED EAST ELEVATION
 Scale: 1/4" = 1'-0"

REVISIONS:

DESCRIPTION:	PROPOSED EXTERIOR ELEVATIONS
SCALE:	1/4" = 1'-0"
DATE:	April 8th, 2024

SANDER RESIDENCE
 40 Cranston Ave
 Newport, RI 02840

A2.1



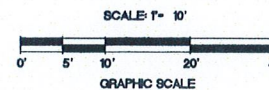
LEGEND:

- SUBJECT PROPERTY LINE
- SUBJECT PROPERTY TIE LINE
- ABUTTER LOT LINE
- BUILDING SETBACK LINE
- EXISTING BUILDING
- EXISTING BRUSH LINE
- EXISTING CONCRETE
- EXISTING PAVEMENT
- EXISTING WOOD FENCE
- EXISTING CHAIN LINK FENCE
- IRON ROD/IRON PIPE
- 68F/28F GRANITE/CONCRETE BOUND FOUND

DIMENSIONAL REQUIREMENTS:

ZONE: R-10 - RESIDENTIAL	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE	10,000 sf	12,627 sf	NO CHANGE
LOT WIDTH / FRONTAGE	80'	90.20'	N/C
SETBACKS - PRINCIPAL BUILDINGS:			
FRONT YARD	15'	18.1'	18.1' N/C
SIDE YARD	10'	10.9'	13.5'
REAR YARD	20'	66.6'	55.8'
MAXIMUM BUILDING LOT COVERAGE	20 %	21.8 % *	21.8 % (N/C)
MAXIMUM BUILDING HEIGHT	30'	SEE ARCH	SEE ARCH
SETBACKS - ACCESSORY BUILDINGS:			
SIDE YARD	10'	3.9' *	12.7'
REAR YARD	10'	4.6' *	66.9'
MAXIMUM BUILDING HEIGHT	20'	< 20'	SEE ARCH

* EXISTING NON-COFORMING CONDITION



LOCATION MAP NOT TO SCALE

STREET INDEX:

THIS PLAN SHALL BE INDEXED BY THE FOLLOWING STREETS:
CRANSTON AVENUE

OWNER / APPLICANT

PAUL AND ELIZABETH SANDER
40 CRANSTON AVE
NEWPORT, RI 02840

NOTES:

- NORTH ARROW REFERENCES STATE PLANE COORDINATES.
- VERTICAL DATUM IS NAVD 88.
- SEE ARCHITECTURAL PLANS FOR ADDITION DETAILS

REFERENCES:

PROPERTY LINE AND EXISTING CONDITIONS INFORMATION TAKEN FROM THAT PLAN ENTITLED: "EXISTING CONDITIONS PLAN ASSESSOR'S PLAT 19 LOT 8-4 40 CRANSTON AVENUE SITUATED IN NEWPORT, RHODE ISLAND" PREPARED FOR PAUL AND ELIZABETH SANDER, PREPARED BY MILLSTONE ENGINEERING, P.C., SHEET 1 OF 1, SCALE: 1"=10', DATED APRIL 2024.

FLOOD NOTE:

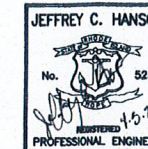
THE SUBJECT PROPERTY IS LOCATED IN FLOOD ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PROVIDED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR NEWPORT COUNTY COMMUNITY PANEL NUMBERS 44005C0181J MAPS REVISED SEPTEMBER 4, 2013.

STORMWATER NOTE

WITH THE EQUAL SWAPPING OUT OF BUILDING IMPERVIOUS ROOFTOP AREA (NO INCREASE IN LOT COVERAGE) AND THE DECREASE IN PAVEMENT (GRAVEL DRIVE REMOVED VS NEW DRIVE ADDED) THE OVERALL SITE IMPACTS FROM STORMWATER WILL BE AN IMPROVEMENT. A REDUCTION IN IMPERVIOUS SURFACE AS SHOWN WILL RESULT IN A REDUCTION IN STORMWATER RUNOFF DISCHARGING FROM THE SITE.

THIS RESULTS IN NO NEED FOR STORMWATER MITIGATION FOR THIS PROJECT.

NO.	DATE	REVISION



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SITE PLAN

SANDER RESIDENCE

A.P. 19, LOT 8-4
40 CRANSTON AVE.
NEWPORT, RI

PREPARED FOR:
PAUL & ELIZABETH SANDER

SCALE: 1"=10'
APRIL 2024

Drawn By: SEN MJV

Checked By: THK / JCH

Sheet

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of 1

FILE NO.: 24.571.845