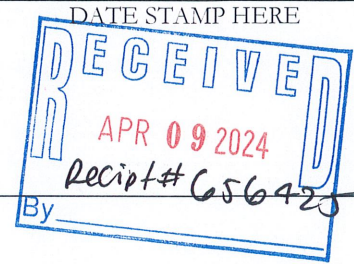




Newport Zoning Application

ZBR 2024 - MAY - 016

(This box for staff use only)



Date: 4/9/2024

Board members:

The undersigned hereby petitions the Zoning Board of Review for a special use permit or a variance in the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Location of Premises

Street & No: 2 Wheatland Ct

Tax Assessor's Plat: 37 Lot: 036-4 Zoning District: R10-A

- Special Use Permit (Non-Conforming Alteration)
- Regulatory (Dimensional) Variance
- Special Use Permit (New Use)
- Use Variance
- Modification

Property Owner: Andrew McHugh & Avani McHugh

Mailing Address: vanimchugh@gmail.com

Email Address: vanimchugh@gmail.com

Phone Number: 401-408-7263

How long have you been the owner of the above premise? 3/14/2018

Legally Authorized Representative *if applicable: N/A

Mailing Address: N/A

Email Address: N/A Phone Number: N/A

Lessee: N/A

Mailing Address: N/A

Email Address: N/A Phone Number: N/A



Newport Zoning Application

Property Characteristics

Dimensions of lot-frontage: 50.89 ft. Lot Area: 2433 sq. ft.

Are there buildings on the premises at present? Yes- demo approved 11/2018

Total square footage of the footprint of existing buildings: 973.2 sq. ft.

Total square footage of the footprint of proposed buildings: 935 sq. ft.

Zoning Characteristics Matrix

	Existing	Required/Allowed	Proposed
Lot Size (sq. ft.)	2433 sq ft	10000 sq ft	2433 sq ft
Coverage Area (sq. ft)	973.2 sq ft	854.7 sq ft	1400 sq ft
Lot Coverage (%)	40%	35.13%	57.54%
Dwelling Units	1	1	1
Parking (# of spaces)	1	2	2
Front Setback (ft.)	north/street = 12.75'	north/street = 3.65'/2.33'	north/street = 4'
Side Setbacks (ft.)	west = 4.33'/ east = 8'	west/east = 2.43'	west = 3'/ east = 13.5'
Rear Setback (ft.)	south = 4.5'	south = 4.87'	south = 4.87'
Height (ft.)	20'	30'+5' freeboard +2' flood=37'	38.5'



Newport Zoning Application

All of the following information and questions must be filled in and answered completely.

Present use of Premise: single family dwelling

Proposed use of Premise: single family dwelling

Summary of Proposed Alterations

Demolish existing structure to replace with newly constructed FEMA flood compliant single family home located in non-historic R-10A district. Extensive black mold and water damage noted, homeowner's experienced health effects from black mold and consulted with homeowner's insurance and obtained mold testing report. Mold abatement and renovations approximately >50% value of home, and decision made to proceed with new construction for single family, year round use resident home.

Prior applications in: 2019 denied application, 2021 approved application which is currently being appealed by abutters since there was a City of Newport administrative error for filing recorded/approved decision with land evidence. As the current 2021 approved decision is pending with the Land Use Superior Court, construction is on hold. This new application is submitted with consideration of the new statewide zoning changes for substandard lots noted in the RI Zoning Enabling Act effective January 1, 2024.

In comparison the 2021 approved zoning application was a greater deviation from the zoning code than this current 2024 application. Despite a greater lot coverage request in this application, there is a lesser modification from the current zoning code. For reference the 2021 approved modification was 100% and this most recent 2024 application is a modification of 63% from the proportioned lot coverage.



Newport Zoning Application

Applicant Statement

How does your application meet the required standards for variance(s) or special use permit(s)?
(See page 6 for most common applicable standards)

1. The hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not to the general characteristics of the surrounding area; and is not due to a physical or economic disability of the applicant, excepting those physical disabilities addressed in GLRI §45-24-30(a)(16) ; Our property is a substandard lot that is 75.7% deficient
2. That the hardship is not the result of any prior action of the applicant ; The substandard lot deficiency was not the result of any of our prior actions.
3. That the granting of the requested variance will not alter the general character of the surrounding area or impair the intent or purpose of the zoning ordinance or the comprehensive plan upon which the ordinance is based ; Our home would be a single family, year round use. The height of the structure is increased due to property location in the AE flood zone. A height variance of an additional 1.5' is requested. There is no street parking allowed on our street Wheatland Court granted per abutters' requests dated 2014 and 2016. There are minor changes to the house size and the addition of architectural features, and verandas for personal use. This application increases the number of off street parking spaces to be provided and justifies reasonable use of the land and structure by right.
4. In granting a dimensional variance, that the hardship suffered by the owner of the subject property if the dmensional variance is not granted amounts to more than a mere inconvenience meaning that relief sought is minimal to a reasonable enjoyment of the permitted use; Our hardship is a 75.7% deficient lot size which is more than a mere inconvenience and the relief sought is minimal and reasonable with a small structure, exterior verandas for personal use (prior applications removed decks, overhangs, and roof decks per abutter's objections).



Newport Zoning Application

Upon submittal of this application, please make sure you have also reviewed our Zoning Application Submittal Requirements packet, and included with your application, a copy of the Submittal Checklist which can also be found here: [Zoning Application Submittal Requirements](#). If an application is missing any submittal requirements and/or necessary application information, your application may be regarded incomplete. Incomplete applications will not be publicly advertised or appear on an agenda until the project is deemed complete.

By signing below, I hereby attest that the information provided is accurate and truthful. I also attest that I have read through this application thoroughly and understand what is required to submit a completed application.

Al M. McHugh

Applicant Signature

4/9/24

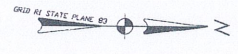
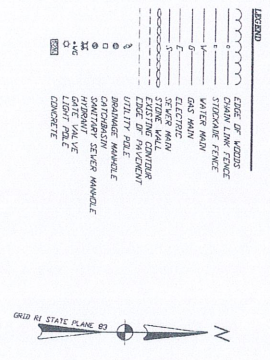
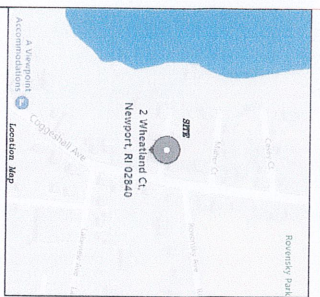
Date

Al M. McHugh

Owner Signature

4/9/24

Date



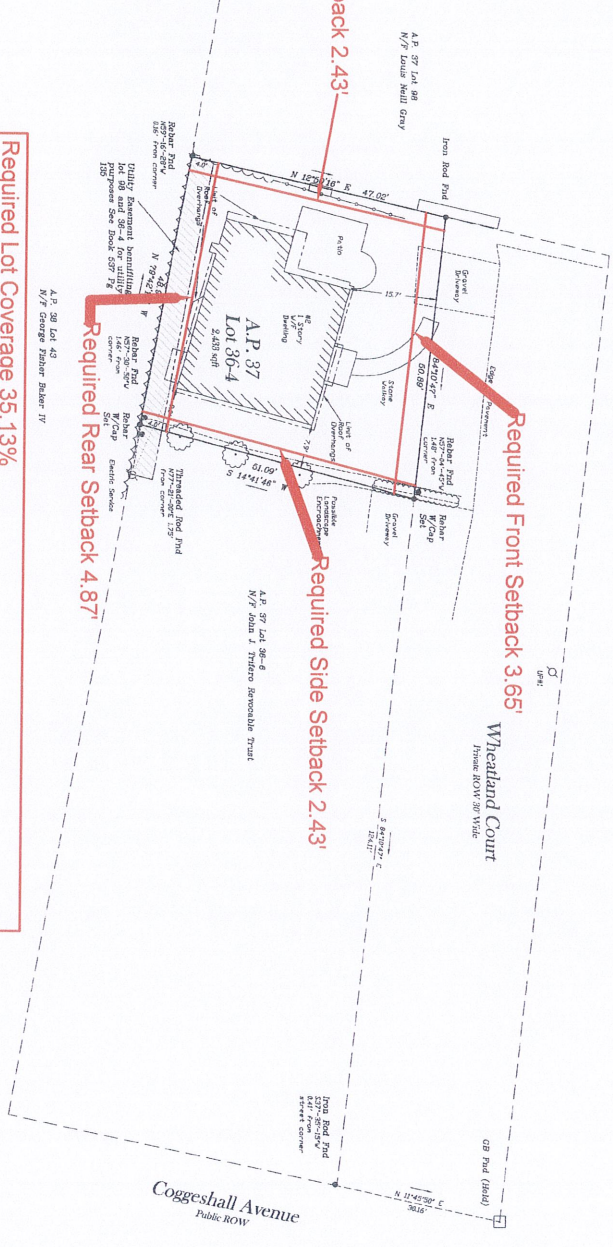
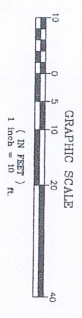
Zoning R-10A

Min. Area	10,000 sq ft
Lot Min. Area	500 sq ft
Minimum Setback Requirements	
Front	10'
Side Yard	10'
Lot Coverage	20%

- References:**
1. Lots 36-4 & 36-6 The Plat of Land Island 12 May 1883 Scale 1"=20' by David Ross, Jr. John and recorded as Book 108 Page 108
 2. Survey from Project Owners Bishop Sullivan & Nellie Gray location 209 Coggeshall Avenue Scale 1"=20' Date 12/26/1904 and recorded as Book 108 Page 108
 3. Plat of Land Island 12 May 1883 by David Ross, Jr. Book 108 Page 108

- NOTES:**
1. The Property shown herein is identified as A.P. 37 Lot 36-4 and is situated in the Block of A.P. 37, Block 108, Newport, Rhode Island. The date of the plat is September 4, 2013.
 2. The utilities shown herein are the result of time of field study inspection at the time of the survey. The utility companies, the location of the distribution lines shown on the drawings are the responsibility of the utility companies. The construction or improvement of any utility lines shown on the drawings is the responsibility of the utility companies. The location of the utilities serving this property is shown on the drawings.
 3. This project is based and referenced upon the Rhode Island State Plane Coordinate System (NAD 83) and NAD 83 as shown on the drawings. The State Plane Coordinate System is based on the North American Datum of 1983. The datum reference station used is the Smithsonian 1983 Reference Network.

Required Lot Coverage 35.13%
Zone R10A
Min. Lot Area 10000 Square Feet
Lot Size 2433 Square Feet
Lot Deficient 75.7% of the Lot Size to the Minimum Required Lot Size
Flood Zone AE - Flood Elevation 16' above sea level
Not in Historic District
Notes in Red added to survey by applicants



This survey has been conducted and the plat has been prepared in accordance with the provisions of the laws and regulations adopted by the Rhode Island Board of Survey and Mapping on November 26, 2016, as follows:

MANUFACTURED SPECIFICATIONS:

Comprehensive Boundary Survey

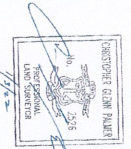
Type of Survey: Boundary Survey

Data Accumulation Survey

The purpose for the conduct of the survey and for the preparation of the data is as follows: To show the existing boundaries of the land shown on the plat and to show the improvements thereon.

III

Christopher G. Palmer, PLS 26393
 C.O.P.
 COA# 743



DATE	09/23/2022
BY	1-147
PROJECT NO.	24-313
DRAWN BY	C.G.P.
CHECKED BY	C.G.P.
SHEET NO.	1

PREPARED FOR:
Andrew & Avani McHugh
 2 Wheatland Court
 Newport, Rhode Island 02840

REVISIONS

Comprehensive Boundary Survey

2 Wheatland Court
Newport, Rhode Island
Assessor's Plat 37 Lot No. 36-4

Christopher G. Palmer, PLS

66 Falcon Ridge Drive
 Exeter, Rhode Island 02822
 PH: 401-474-5233
 Email: palmerc6@gmail.com

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Andrew & Avani McHugh				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2 Wheatland Court				Company NAIC Number:	
City Newport		State Rhode Island		ZIP Code 02840	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) Assessor's Plat 37 Lot 36-4					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>					
A5. Latitude/Longitude: Lat. <u>41-27-31.84</u> Long. <u>71.1834.12</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>6</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>935.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>5</u>					
c) Total net area of flood openings in A8.b <u>1000.00</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____					
c) Total net area of flood openings in A9.b _____ sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number City of Newport 445403			B2. County Name Newport		B3. State Rhode Island
B4. Map/Panel Number 44005C0183	B5. Suffix J	B6. FIRM Index Date 09-04-2013	B7. FIRM Panel Effective/ Revised Date 09-04-2013	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) Elev=16
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2 Wheatland Court			Policy Number:
City Newport	State Rhode Island	ZIP Code 02840	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
Benchmark Utilized: RTCM- 0207 Vertical Datum: NAVD 1988

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 15.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | 26.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | 25.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 14.3 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 15.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | 14.3 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name Christopher G. Palmer	License Number 2526	Place Seal Here	
Title Professional Land Surveyor			
Company Name Christopher Glenn Palmer PLS			
Address 66 Falcon Ridge Drive			
City Exeter	State Rhode Island		ZIP Code 02822
Signature	Date 12-29-2021	Telephone (401) 474-5233	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
Floor elevations were taken from drawing provided by the owner.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2 Wheatland Court			Policy Number:
City Newport	State Rhode Island	ZIP Code 02840	Company NAIC Number

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ feet meters above or below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ feet meters above or below the HAG.
- E3. Attached garage (top of slab) is _____ feet meters above or below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ feet meters above or below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? Yes No Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address _____ City _____ State _____ ZIP Code _____

Signature _____ Date _____ Telephone _____

Comments

Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 2 Wheatland Court			Policy Number:
City Newport	State Rhode Island	ZIP Code 02840	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

G7. This permit has been issued for: New Construction Substantial Improvement

G8. Elevation of as-built lowest floor (including basement) of the building: _____ feet meters Datum _____

G9. BFE or (in Zone AO) depth of flooding at the building site: _____ feet meters Datum _____

G10. Community's design flood elevation: _____ feet meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

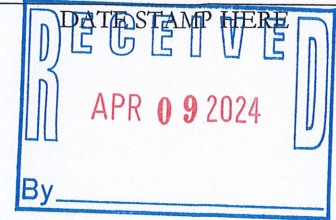


Newport Zoning Application Submittal Requirements

ZBR 2024 - MAY - 016

- Special Use Permit (new) Variance
- Special Use Permit (modification) Modification

(This box for staff use only)



SUBMITTAL REQUIREMENTS CHECKLIST

Applications that are missing materials in this checklist will not be accepted for review.

Section 1 – Application Forms – Page 3 of the Guide Required for All Projects

- A. Completed Zoning Project Application Packet comprised of the following individual sections:
 1. Zoning Project Application Form
 2. Completed copy of this Zoning Application Submittal Requirements Checklist (Page 2)
- B. Request to Waive any Submittal Requirements *(if applicable)*
- C. Application Fee (Please Refer to Current Fee Schedule)

Section 2 – Plan Package – Pages 4-7 of the Guide Required for All Development Projects (Involving New Structures, Additions, Exterior Alterations, etc.) Individual requirements of the Plan Package (listed below) may differ depending on the project

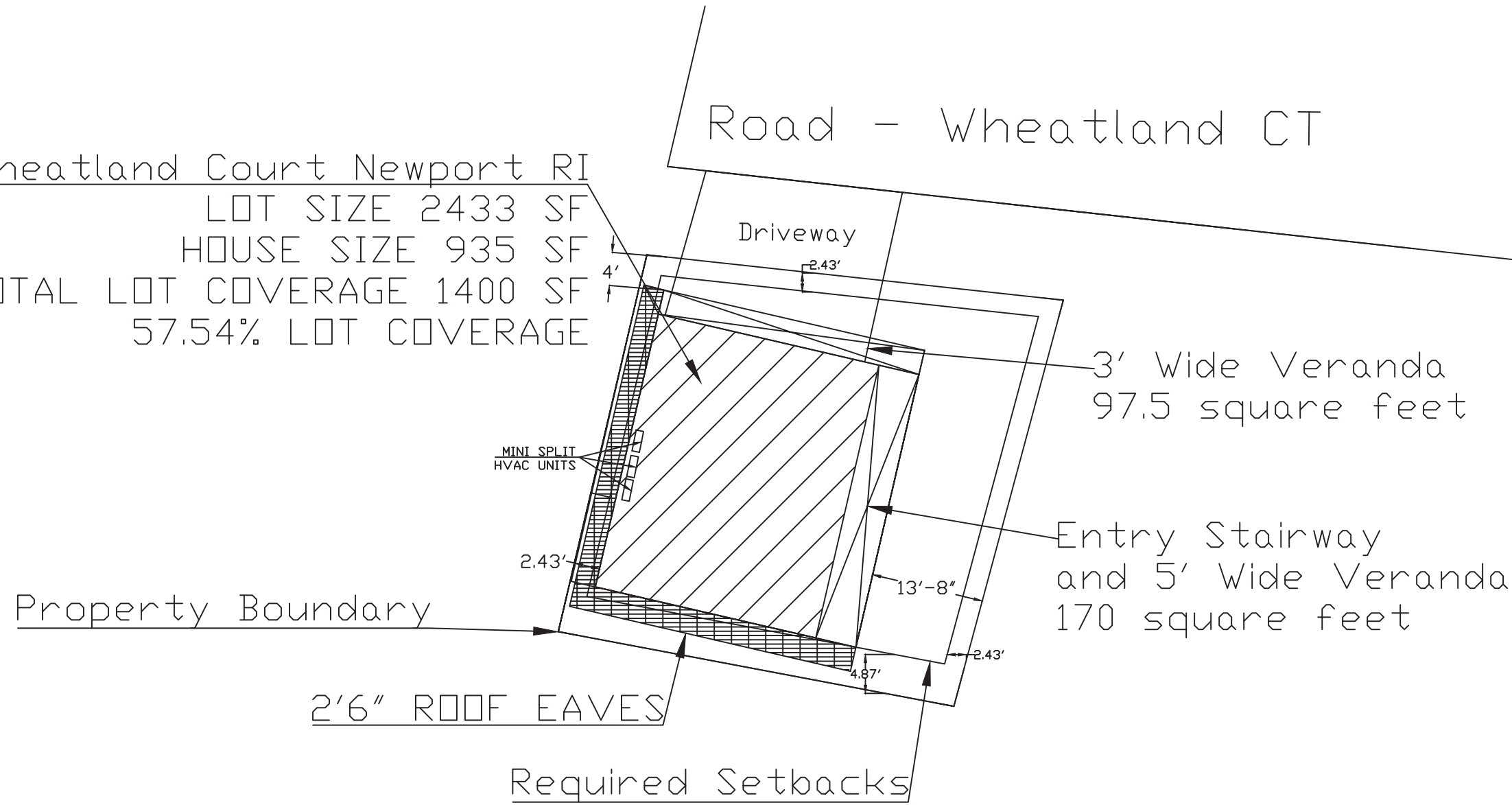
- A. Class I Site Survey
- B. Proposed Site Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Stormwater Management Plan
- F. Landscape Plan
- G. Building Elevations
- H. Change of Use

Section 3 – Supporting Documents, Studies, Graphics, and Depictions – Page 8 of the Guide May be required for certain Development Projects

- A. Site Photographs
- B. Photo Simulations
- C. Structural Evaluation
- D. Parking Survey
- E. Traffic Impact Analysis

2 Wheatland Court Newport RI
 LOT SIZE 2433 SF
 HOUSE SIZE 935 SF
 TOTAL LOT COVERAGE 1400 SF
 57.54% LOT COVERAGE

Road - Wheatland CT



Property Boundary


2'6" ROOF EAVES

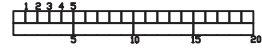
Required Setbacks

3' Wide Veranda
97.5 square feet

Entry Stairway
and 5' Wide Veranda
170 square feet

2 Wheatland Court
 Plat 36, Lot 34-2
 Zone 10A
 Front Setback Required 3.65'
 Side Setback Required 2.43'
 Rear Setback 4.87'
 Lot Coverage Required 35.13%
 Height Required for Flood Zone AE 52' above sea level 53.5'
 above sea level

- Stairs and Veranda 
- Home Footprint 
- Required Setback 
- Roof Eave 

↑ N

 1/16" = 1' Scale

General Notes

No.	Revision/Issue	Date

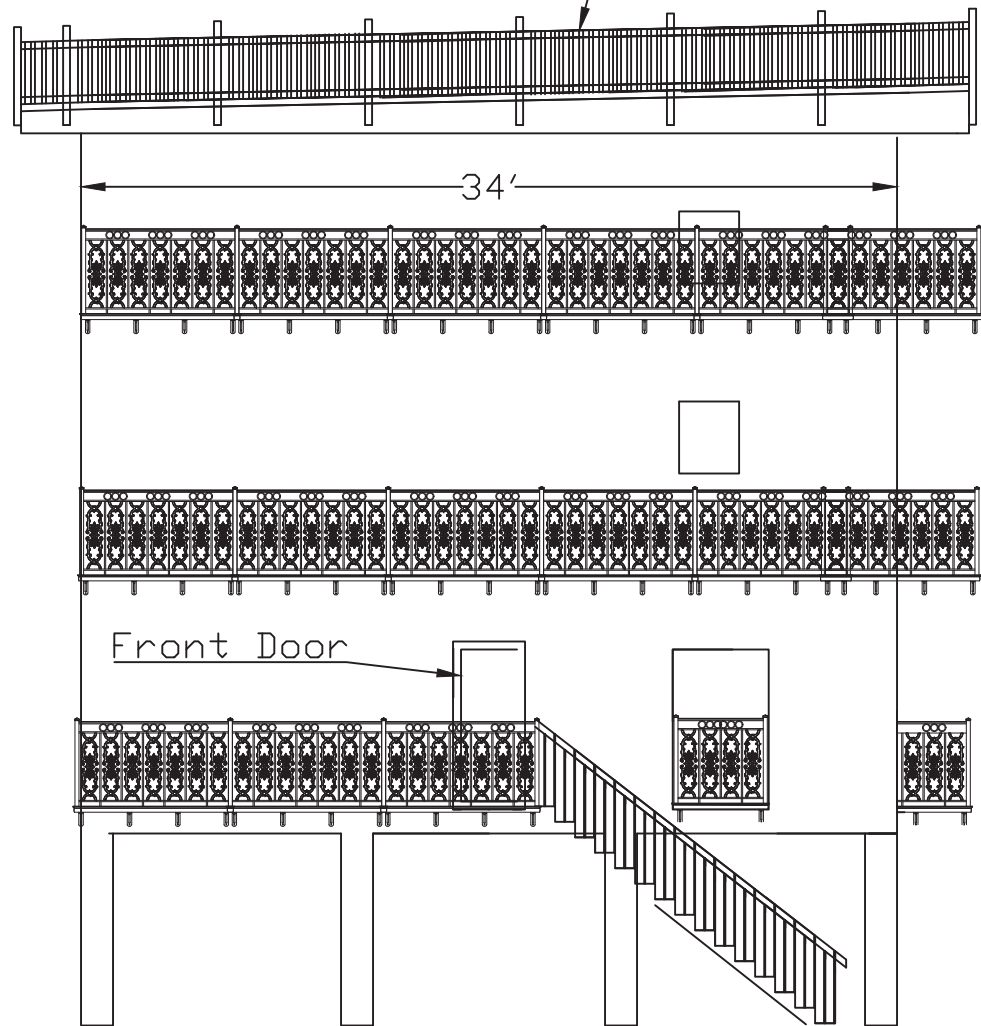
Site Plan

Project Name and Address
 Andrew & Avani McHugh
 2 Wheatland CT
 Newport RI, 02840

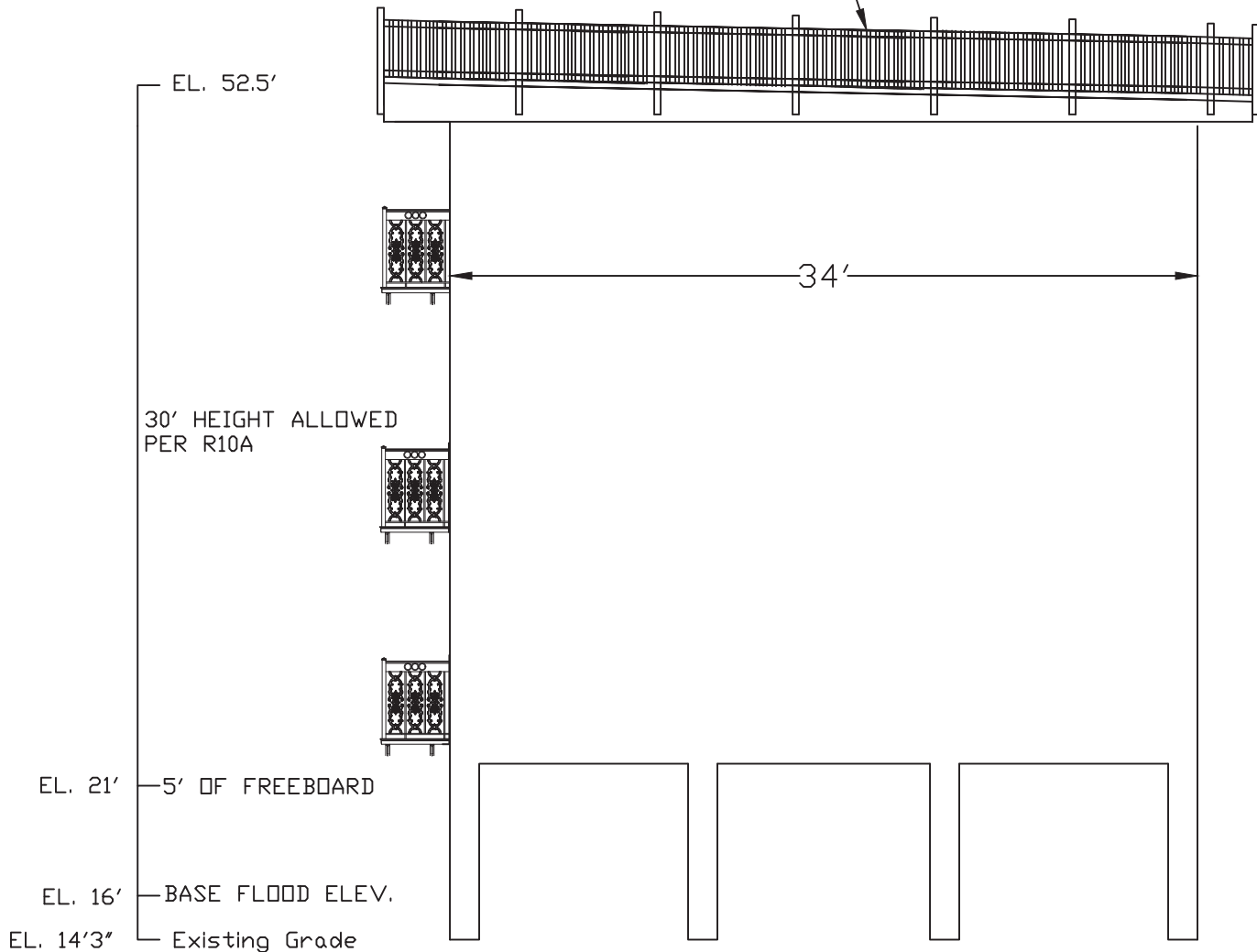
Project	Sheet
	1 of 4

FNAME
REVDATE

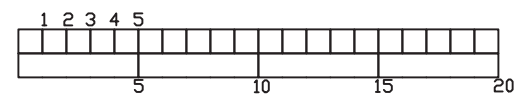
Note: SOLAR PANEL MECHANICAL SAFETY RAIL. NO ROOF DECK



EAST FACE - towards Coggeshall Ave



WEST FACE - towards almy pond



No.	Revision/Issue	Date

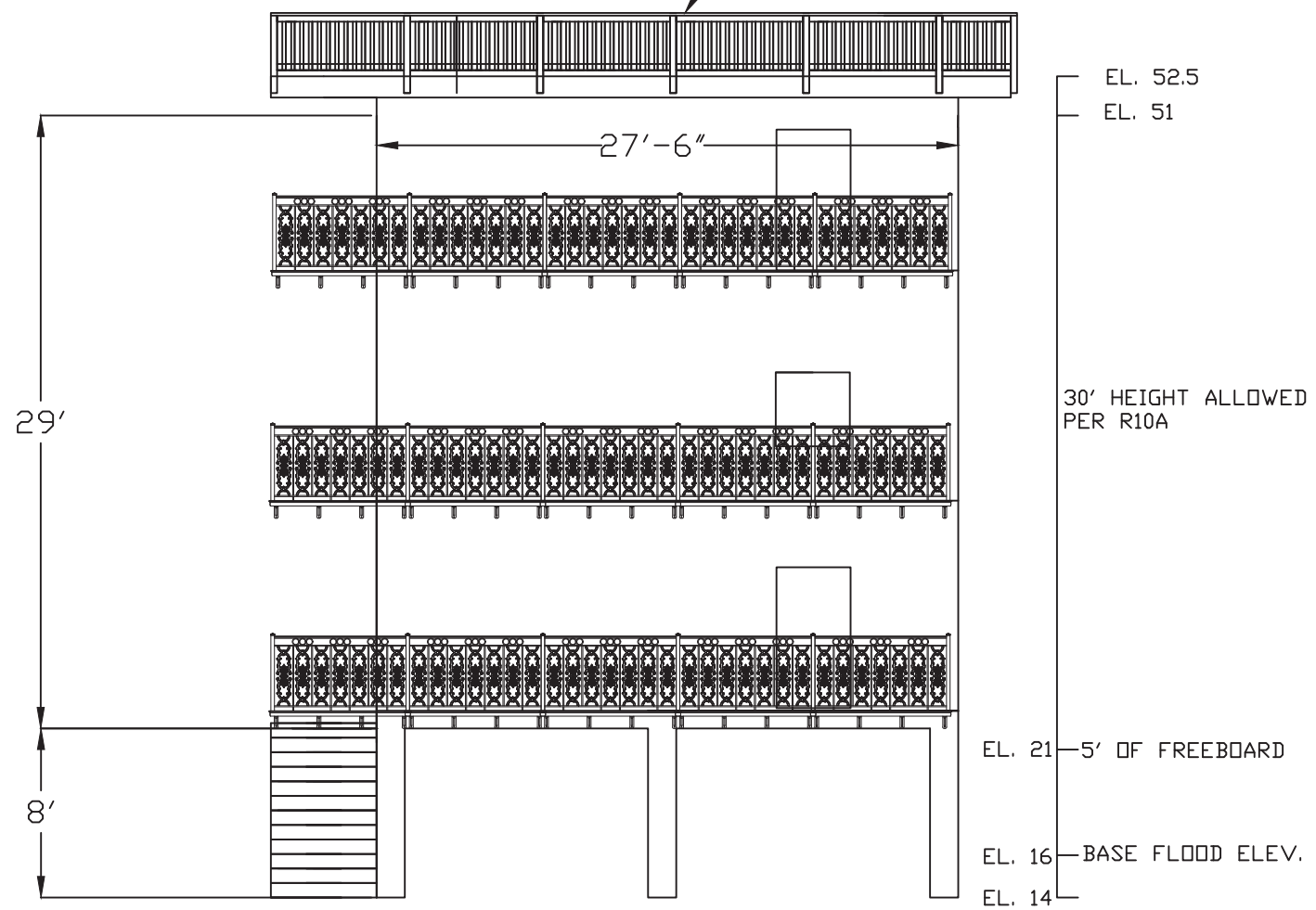
Firm Name and Address

Project Name and Address

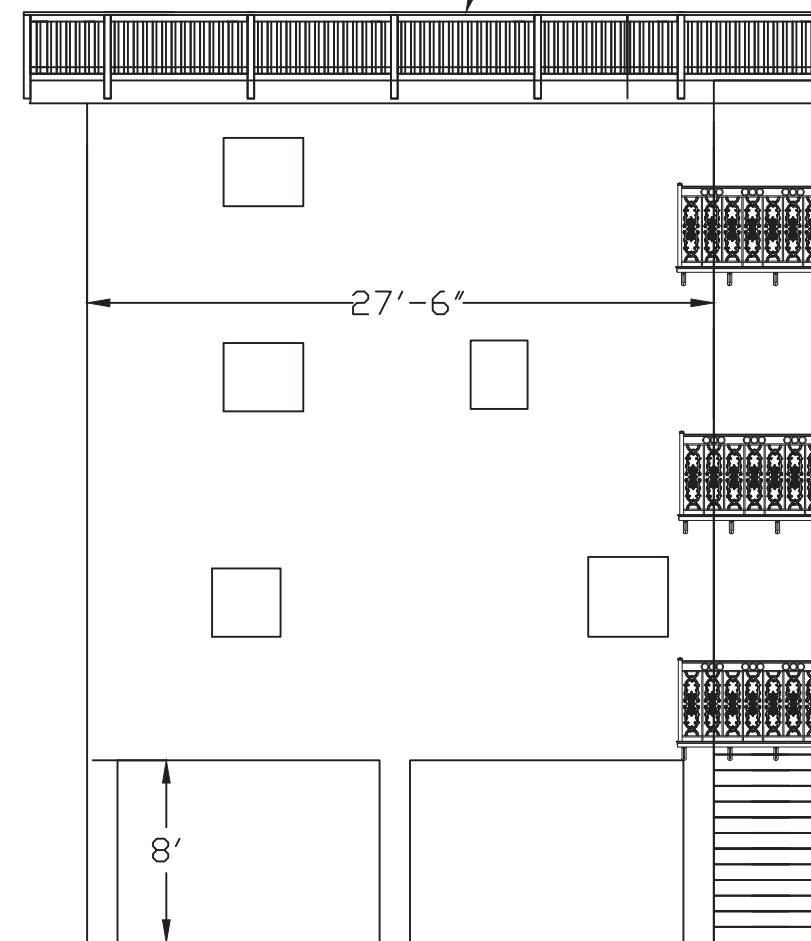
Andrew & Avani McHugh
 2 Wheatland CT
 Newport RI, 02840

Project	Sheet
Date	2 of 4
Scale	

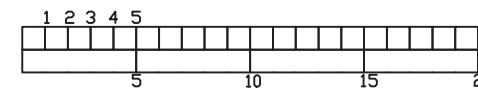
Note: SOLAR PANEL MECHANICAL SAFETY RAIL. NO ROOF DECK



NORTH FACE (STREET VIEW)



SOUTH FACE



Scale in feet

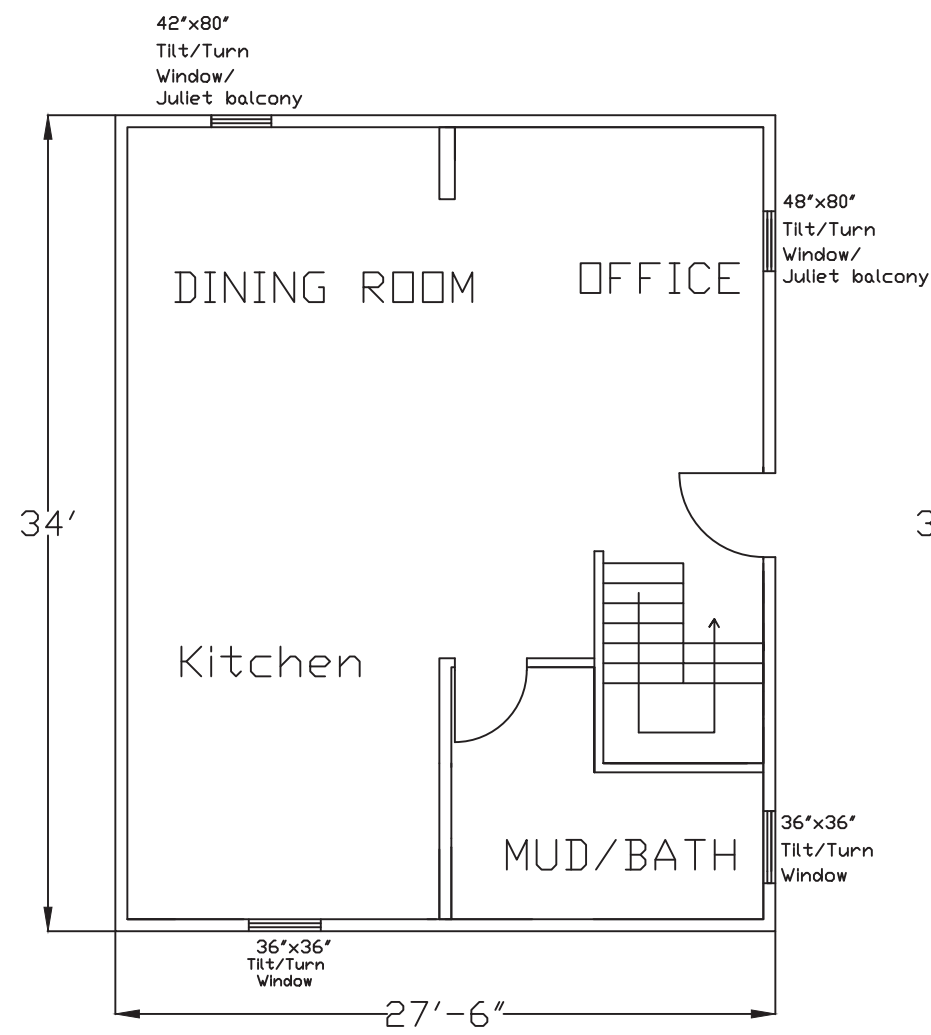
General Notes

No.	Revision/Issue	Date

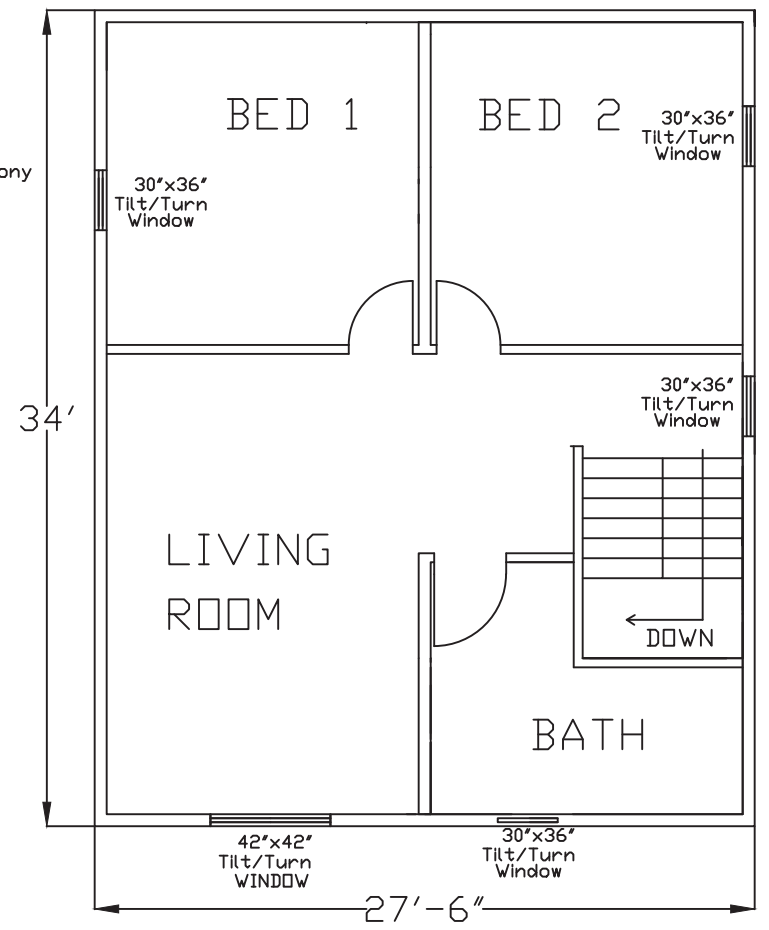
Firm Name and Address

Project Name and Address
 Andrew & Avani McHugh
 2 Wheatland CT
 Newport RI, 02840

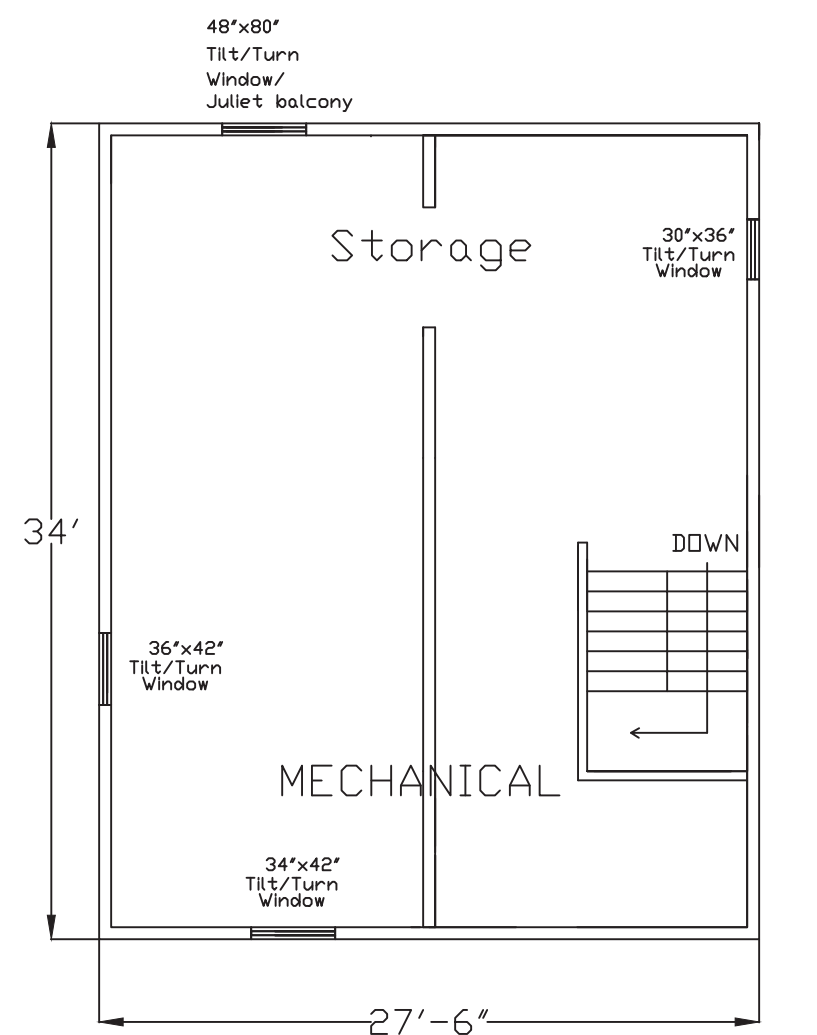
Project	Sheet
Date	3 of 4
Scale	



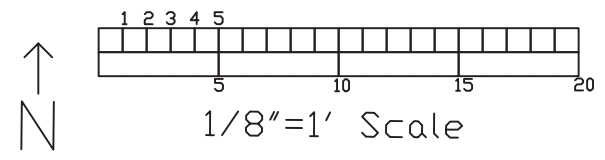
FIRST FLOOR



SECOND FLOOR



CONDITIONED UNFINISHED ATTIC /THIRD STORY



No.	Revision/Issue	Date

Firm Name and Address

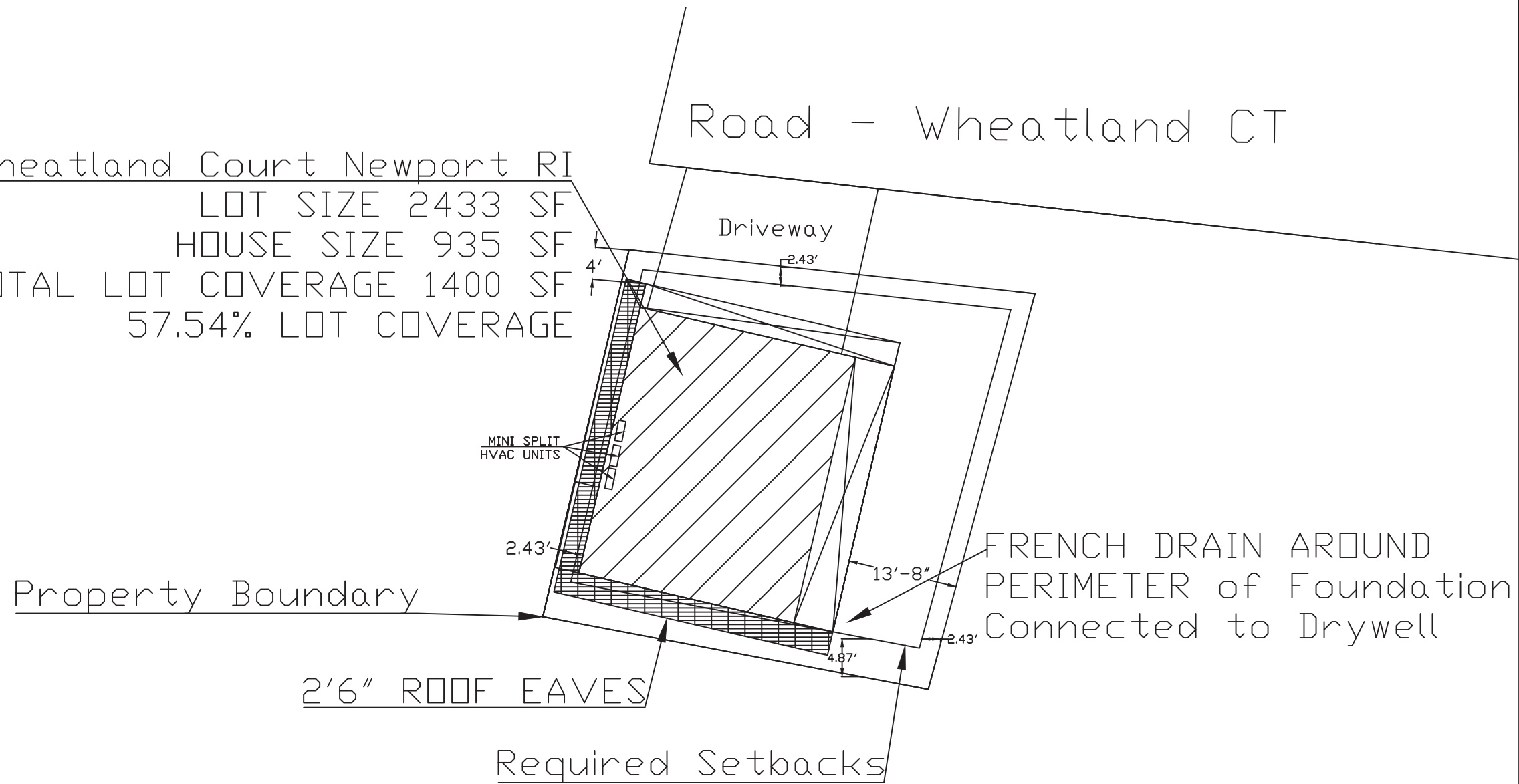
Project Name and Address

Andrew & Avani McHugh
2 Wheatland CT
Newport RI, 02840

Project	Sheet
Date	4 of 4
Scale	

2 Wheatland Court Newport RI
 LOT SIZE 2433 SF
 HOUSE SIZE 935 SF
 TOTAL LOT COVERAGE 1400 SF
 57.54% LOT COVERAGE

Road - Wheatland CT





FRENCH DRAIN AROUND PERIMETER of Foundation Connected to Drywell

2'6" ROOF EAVES

Required Setbacks

2 Wheatland Court
 Plat 36, Lot 34-2
 Zone 10A
 Front Setback Required 3.65'
 Side Setback Required 2.43'
 Rear Setback 4.87'
 Lot Coverage Required 35.13%
 Height Required for Flood Zone AE 52' above sea level 53.5' above sea level

- Stairs and Veranda 
- Home Footprint 
- Required Setback 
- Roof Eave 

↑ N
 1/16"=1' Scale

General Notes

No.	Revision/Issue	Date

STORMWATER
 MANAGEMENT PLAN

Project Name and Address
 Andrew & Avani McHugh
 2 Wheatland CT
 Newport RI, 02840

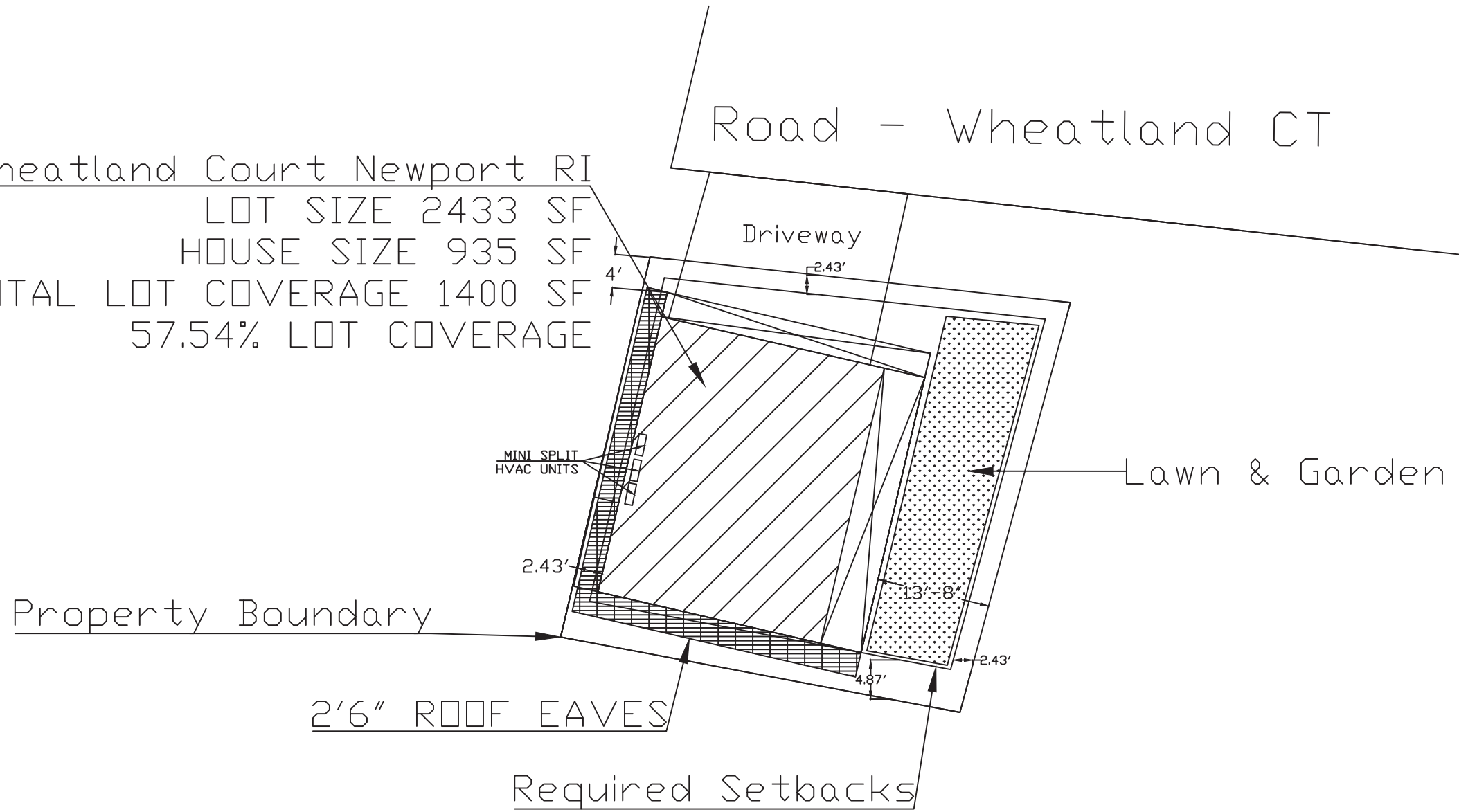
Project	Sheet
Date	Stormwater
Scale	1 of 1

FNAME

REVDATE

2 Wheatland Court Newport RI
 LOT SIZE 2433 SF
 HOUSE SIZE 935 SF
 TOTAL LOT COVERAGE 1400 SF
 57.54% LOT COVERAGE

Road - Wheatland CT



Property Boundary

2'6" ROOF EAVES

Required Setbacks

Lawn & Garden

Driveway

MINI SPLIT HVAC UNITS

2 Wheatland Court
 Plat 36, Lot 34-2
 Zone 10A
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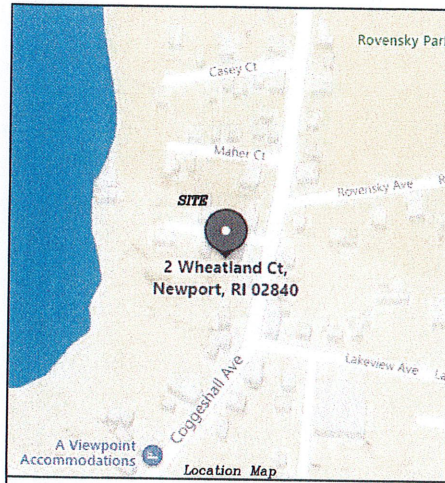
No.	Revision/Issue	Date

LANDSCAPE

Project Name and Address
 Andrew & Avani McHugh
 2 Wheatland CT
 Newport RI, 02840

Project	Sheet
Date	Landscape
Scale	1 of 1

FNAME
REVDATE



LEGEND

	EDGE OF WOODS
	CHAIN LINK FENCE
	STOCKADE FENCE
	WATER MAIN
	GAS MAIN
	ELECTRIC
	SEWER MAIN
	STONE WALL
	EXISTING CONTOUR
	EDGE OF PAVEMENT
	UTILITY POLE
	DRAINAGE MANHOLE
	CATCHBASIN
	SANITARY SEWER MANHOLE
	HYDRANT
	GATE VALVE
	LIGHT POLE
	CONCRETE



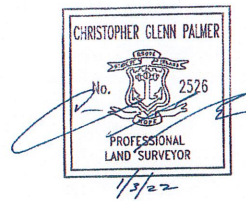
Zoning R-10A
 Min. Area 10,000sqft
 Lot Width 80'
Dimensional Setback Requirements
 Front yard 15'
 Side Yard 10'
 Rear Yard 20'
 Lot Coverage 20%

RIGL 34-13-1 INDEX
ABUTTING STREETS
Wheatland Court

Christopher G. Palmer, PLS
 66 Falcon Ridge Drive
 Exeter, Rhode Island 02822
 PH: 401-474-5233
 Email: palmerc6@gmail.com

Comprehensive Boundary Survey
 2 Wheatland Court
 Newport, Rhode Island
 Assessor's Plat 37 Lot No. 36-4

PREPARED FOR:
Andrew & Avani McHugh
 2 Wheatland Court
 Newport, Rhode Island 02840
 REVISIONS



This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island Board of Registration for Professional Land Surveyors on November 25, 2015, as follows:
Type of Boundary Survey Measurement Specification
 Comprehensive Boundary Survey I
Type of Survey III
 Data Accumulation Survey

The purpose for the conduct of the survey and for the preparation of this plan is as follows: To show the existing conditions within the boundary's for future site improvements.

By: *Christopher G. Palmer*
 COA# 745

DATE	01/03/2022
SCALE	1"=10'
PROJECT NO:	21-113
DRAWN BY	C.G.P.
CHECKED BY:	C.G.P.
SHEET NO.	1

- References:**
1. Lots 36.4 & 36.6 Tax Plat 37 Land of Ralph L. Stermer Newport, Rhode Island 12, May 1983 Scale 1"=20' by Harold E. St. John and Recorded as Doc.# 19836
 2. Survey Plan Project Owners Blake Sullivan & Neill Gray Location 209 Coggeshall Avenue Scale 1"=20' Date 12-15-94 by Narragansett Engineering Inc. and Recorded as Doc.# 19858
 3. Plan attached to deed in Book 51 Page 125, & Book 92 Page 350

- NOTES:**
1. The Property shown hereon is classified as zone AE Elev=16 as identified by the Flood Insurance Rate Map for the City of Newport, Rhode Island County of Newport, Firm Panel 163 with a map number 44005C01831, effective date September 4, 2013
 2. The utilities shown hereon are the result of field locations of visible structures at the time of the field survey and record plans acquired from the utility companies. We accept no responsibility for the accuracy or completeness of the distribution lines shown hereon. Call DIG-SAFE prior to start of any construction or improvements for the exact locations of the utilities servicing this property.
 3. This project is based and referenced upon the Rhode Island State Plane Coordinate System (currently NAD 83 and NAVD 88) as determined by data transmitted from Smartnet reference stations using the SmartNet RTK Reference Network.

