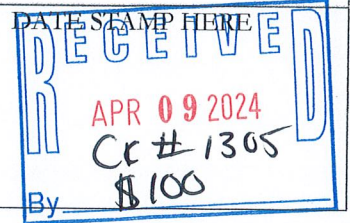




Newport Zoning Application

ZBR 2024 - MAY - 017

(This box for staff use only)



Date: 4/8/24

Board members:

The undersigned hereby petitions the Zoning Board of Review for a special use permit or a variance in the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

Location of Premises

Street & No: 425 Thames Street

Tax Assessor's Plat: 32 Lot: 021 Zoning District: Waterfront Business (WB)

Special Use Permit (Non-Conforming Alteration) Regulatory (Dimensional) Variance

Special Use Permit (New Use) Use Variance Modification

Property Owner: Seacoast Mortgage Corporation

Mailing Address: 267 Newport Avenue, Pawtucket RI 02861

Email Address: Kim.Sabbagh@seacoastmortgage.com

Phone Number: 774-254-5467

How long have you been the owner of the above premise? NOV. 2021

Legally Authorized Representative *if applicable: _____

Mailing Address: _____

Email Address: _____ Phone Number: _____

Lessee: _____

Mailing Address: _____

Email Address: _____ Phone Number: _____



Newport Zoning Application

All of the following information and questions must be filled in and answered completely.

Present use of Premise: _____

Proposed use of Premise: _____

Summary of Proposed Alterations

- Seeking relief of parking requirements ~~for 3 lots~~
- Two parking spaces are credited, per my understanding / Conversations with Drew.
- My current parking is 1 space under an agreement with an owner of Brown + Howard Building. (which I am hoping could be the
- Seeking relief ~~for~~ for parking requirements of 3 spaces, regardless of above, since my house is in Waterfront Business Zone, with no parking lots, only street parking (which is avail, as you know).

Thank you!!

- Kim



Newport Zoning Application

Property Characteristics

Dimensions of lot-frontage: _____ ft. Lot Area: _____ sq. ft.

Are there buildings on the premises at present? _____

Total square footage of the footprint of existing buildings: _____ sq. ft.

Total square footage of the footprint of proposed buildings: _____ sq. ft.

Zoning Characteristics Matrix

	Existing	Required/Allowed	Proposed
Lot Size (sq. ft.)		5,000	
Coverage Area (sq. ft.)			
Lot Coverage (%)		40%	
Dwelling Units			
Parking (# of spaces)	0	3	0
Front Setback (ft.)	N/A	0'	N/A
Side Setbacks (ft.)	N/A	5'	N/A
Rear Setback (ft.)	N/A	5'	N/A
Height (ft.)	N/A	35'	N/A



Newport Zoning Application

Applicant Statement

How does your application meet the required standards for variance(s) or special use permit(s)?
(See page 6 for most common applicable standards)

Any parking spaces that may be available for purchase, would be far away from my house @ ~~are~~ limited availability.



Newport Zoning Application

Upon submittal of this application, please make sure you have also reviewed our Zoning Application Submittal Requirements packet, and included with your application, a copy of the Submittal Checklist which can also be found here: [Zoning Application Submittal Requirements](#). If an application is missing any submittal requirements and/or necessary application information, your application may be regarded incomplete. Incomplete applications will not be publicly advertised or appear on an agenda until the project is deemed complete.

By signing below, I hereby attest that the information provided is accurate and truthful. I also attest that I have read through this application thoroughly and understand what is required to submit a completed application.

Kimberly Abbagh

Applicant Signature

4/8/24

Date

[Signature]

Owner Signature

4-8-24

Date



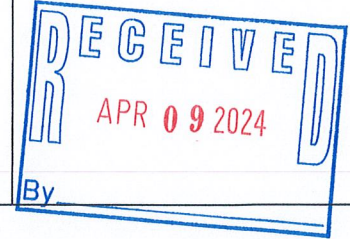
Newport Zoning Application Submittal Requirements

ZBR 2024 - MAY - 017

DATE STAMP HERE

- Special Use Permit (new) Variance
- Special Use Permit (modification) Modification

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SUBMITTAL REQUIREMENTS CHECKLIST

Applications that are missing materials in this checklist will not be accepted for review.

Section 1 – Application Forms – Page 3 of the Guide *Required for All Projects*

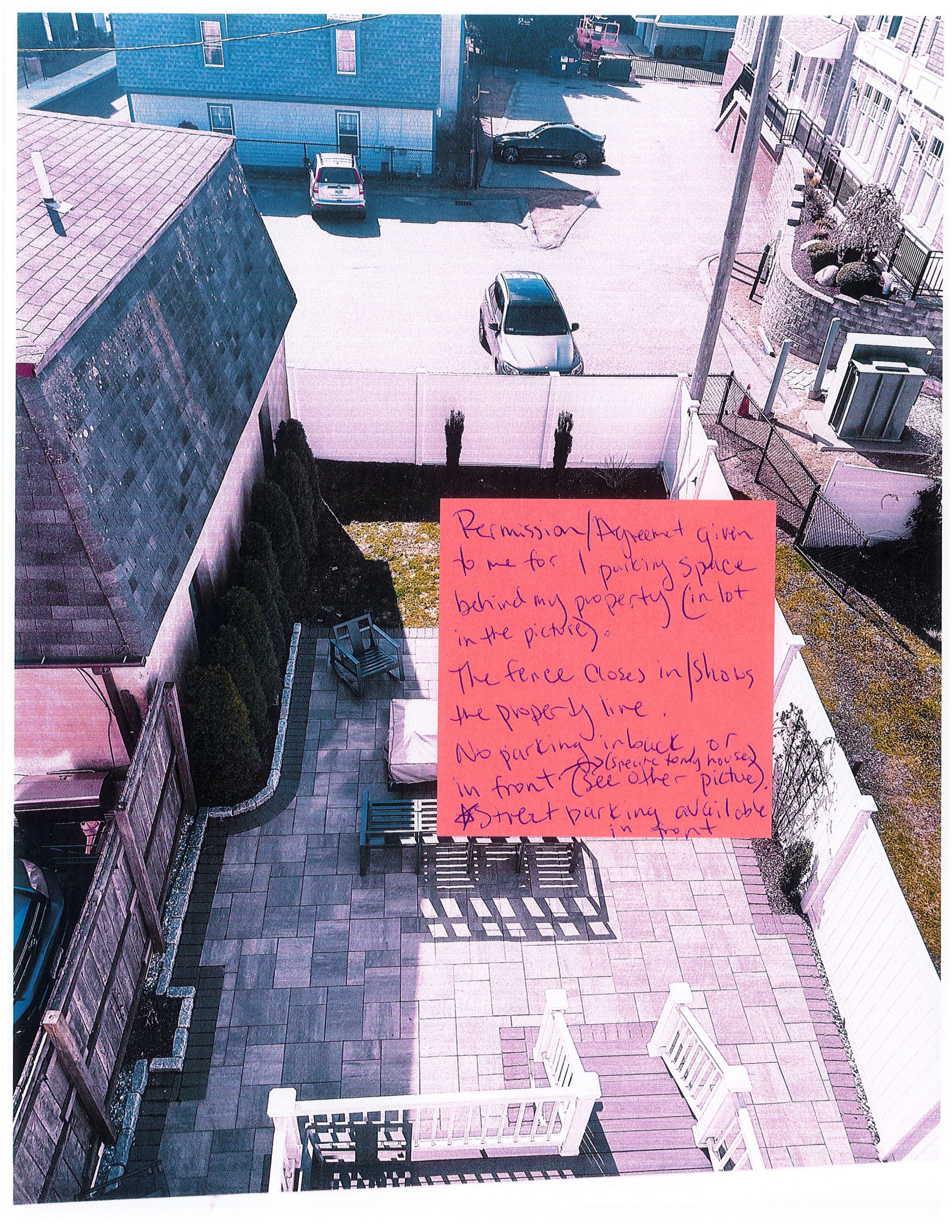
- A. Completed Zoning Project Application Packet comprised of the following individual sections:
 1. Zoning Project Application Form
 2. Completed copy of this Zoning Application Submittal Requirements Checklist (Page 2)
- B. Request to Waive any Submittal Requirements (*if applicable*)
- C. Application Fee (Please Refer to Current Fee Schedule)

Section 2 – Plan Package – Pages 4-7 of the Guide *Required for All Development Projects (Involving New Structures, Additions, Exterior Alterations, etc.) Individual requirements of the Plan Package (listed below) may differ depending on the project*

- A. Class I Site Survey
- B. Proposed Site Plan
- C. Lot Coverage Diagram
- D. Floor Plans
- E. Stormwater Management Plan
- F. Landscape Plan
- G. Building Elevations
- H. Change of Use

Section 3 – Supporting Documents, Studies, Graphics, and Depictions – Page 8 of the Guide *May be required for certain Development Projects*

- A. Site Photographs
- B. Photo Simulations
- C. Structural Evaluation
- D. Parking Survey
- E. Traffic Impact Analysis

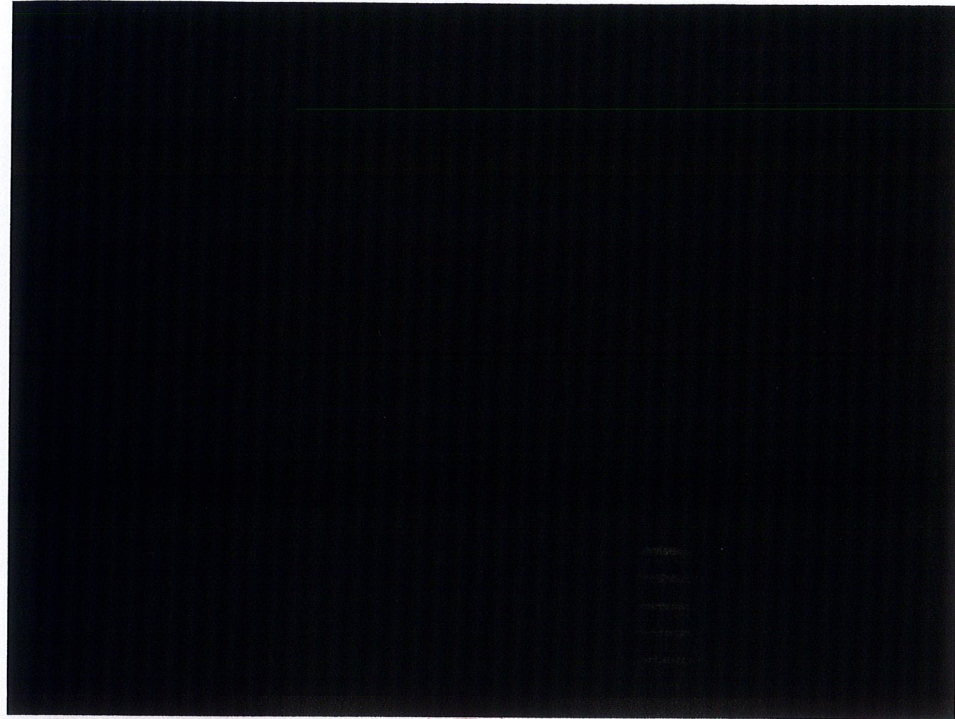
An aerial photograph of a residential property. In the foreground, there is a paved area with a wooden bench and a white railing. A white fence runs across the middle of the image. Behind the fence, there is a paved area with a white car and a dark car. To the left, there is a blue building. To the right, there is a multi-story residential building. A red text box is overlaid on the image, containing handwritten text.

Permission/Agreement given
to me for 1 parking space
behind my property (in lot
in the picture).

The fence closes in/shows
the property line.

No parking in back or
in front (see other picture).

*Street parking available
in front



← Street parking avail →

