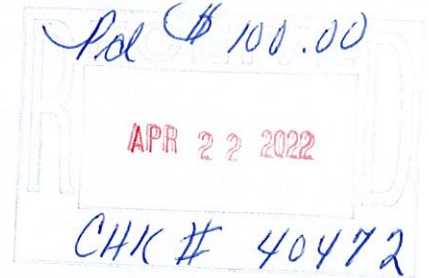


**COMBINED APPLICATION FOR A SPECIAL USE PERMIT &  
A REGULATORY (DIMENSIONAL) VARIANCE**

**CITY OF NEWPORT, RI  
ZONING BOARD OF REVIEW**



DATE: April 22, 2022

Board Members:

The undersigned hereby petitions the Zoning Board of Review for a Special Use Permit and a Regulatory (Dimensional) Variance in the application of the provisions or regulations of the Zoning Ordinance affecting the following described premises in the manner and on the grounds hereinafter set forth.

**Location of Premises**

Street & No.: 0 Heath Street  
Tax Assessor's Plat: 18, Lot: 070

**Petitioner Information**

<b>Applicant(s):</b> Peter Coriander	<b>Addresses:</b> c/o J. Russell Jackson, Esq. Miller Scott Holbrook & Jackson 122 Touro Street Newport, RI 02840
<b>Owner(s):</b> Joanne Coriander	Same
<b>Leasee:</b> N/A	N/A

**Property Characteristics**

<b>Dimensions of Lot:</b>	<b>Frontage:</b>	50.00 ft. +/-
	<b>Depth:</b>	100.00 ft. +/-
	<b>Area:</b>	5,000 sq. ft. +/-

**Zoning District in which premises is located:** R-10

**How long have you owned above premises?** 51 Years

**Are there buildings on the premises at present?** No

**Total square footage of the footprint of existing buildings:** 0 sq. ft. (0.0%)

**Total square footage of the footprint of proposed buildings:** 1,305 sf. (26%)

**Present use of premise:** Vacant Lot

**Proposed use of premises:** Single Family Residential Dwelling

**Give extent of proposed alterations:** The Applicant proposes to construct a single family home.

**Zoning Characteristics Matrix**

	Existing	Required/Allowed	Proposed
Lot Size (sq. ft)	5,000 sf.	10,000 sf.	5,000 sf.
Lot Coverage	0 %	20 %	26 %
Dwelling Units	0	1	1
Parking (# of spaces)	0	2	3
Front Setback (ft.)	N/A	15 ft.	21 ft.
Side Setbacks (ft.)	Northeast = N/A Southwest = N/A	10 ft.	Northeast = 12 ft. Southwest = 10 ft.
Rear Setback (ft.)	N/A	20 ft.	36ft.
Height (ft.)	N/A	30 ft.	≤ 30 ft.

**Project Summary:**

The Applicant seeks relief under:

Section 17.108.020 (Special Use Permits)

Section 17.108.010 (Variances)

Section 17.72.030 (Alteration to Nonconforming Development)

Section 17.20.050 (R-10 Lot Coverage Requirements)

The Applicant seeks relief for permission to construct a new single family residence. Because of the small lot size, the proposed development will require dimensional relief for lot coverage. The building will meet all setbacks and the required parking will be provided on site.



The existing parcel is a legal non-conforming lot of record containing only 5,000 square feet of land. The property is a vacant lot. The purpose of this project is to build a new single family residence for the Applicant to occupy as his primary residence. The proposed structure will be a modest sized custom built home. The property is in the R-10 Zone. Because of the small lot size, the proposed structure will exceed lot coverage. There will be no encroachments into the setbacks. Building height will be at or below thirty (30) feet. The proposed single family use is allowed by right.

The property has been in the Applicant's family since 1940. It was originally his grandmother's property, then his parents, Philip and Joanne Coriander lived there when married in 1950. The original house was torn down decades ago. The Applicant is now rebuilding on property that has been in his family for eighty two years. The plan proposed by the Applicant which calls for the construction of a new single family home will not create dimensional non-conformities to such a degree that it is injurious to, or inconsistent with, the surrounding neighborhood or the purpose and intent of the R-10 Zone.

#### **What provisions of the Comprehensive Land Use Plan are the applicable to this project?**

The Applicants state that the proposed development is consistent with many provisions of the Comprehensive Land Use Plan, including, but not limited to the following:

#### **Land Use:**

*Goal LU-1: To provide a balanced City consisting of residential, commercial, and employment uses consistent with the character, environmental resources and vision of the community.*

*Policy LU-1.7 The City shall protect the existing character of residential neighborhoods while encouraging local neighborhood business.*

#### **Housing:**

*Goal H-1: To preserve and protect existing housing resources in the community.*

*Policy H-1.3 The City shall continue to promote the repair, revitalization or rehabilitation of residential structures and neighborhoods.*

*Policy H-1.4 The City shall encourage resident involvement in identifying and addressing the maintenance of housing in their neighborhood.*

*Goal H-3: To reduce the percentage of seasonally vacant homes and increase neighborhood stability and vitality.*

#### **Transportation & Circulation:**

*Goal T-5: To provide sufficient and suitably located parking, designed to eliminate, mitigate or reduce impacts.*



**What special conditions and circumstances exist which are peculiar to the land, structure or building involved, which are not applicable to other lands, structures or buildings in the same district?**

The existing parcel is a legal non-conforming lot of record containing only 5,000 square feet of land. The lot is only half the required size for the R-10 Zone. The proposed structure is a modest sized, modern single family residence. The foot print of the residence will be twenty eight feet (28') wide and forty three feet (43') long, which puts lot coverage for the foundation at 25%. This area incorporates an integrated one stall garage. Once the architectural feature of the roof overhang is included, total lot coverage is at 26%. The residence fits well within the narrow and long shape of the lot. As a result of the lot size, both the lot and the structure will be dimensionally non-conforming. Building even a modest single family residence with amenities of modern living, as proposed, will result in the need for dimensional relief. In this case, the Applicant has taken great care to develop a plan that requires only lot coverage relief.

**Explain how the literal interpretation of the provisions of this zoning code deprive the applicant of rights commonly enjoyed by other property owners in the same district under the provisions of this zoning code?**

The Applicant proposes a single family residential use and will be seeking a dimensional variance for lot coverage. The subject property is located on Heath Street, a residential street running between Kingston Avenue and Callender Avenue in the Kerry Hill neighborhood. This area is densely developed with a mix of single, two and multi-family residences on small sub-standard lots. A number of the properties immediately adjacent to the subject property in this neighborhood are substandard, in terms of lot size, exceed the 20% lot coverage, and encroach into setbacks. Many of these properties fail to meet various requirements of the R-10 Zone. The literal interpretation of the zoning code, resulting in the denial of the relief requested, would unreasonably deny this Applicant the ability to construct this single family home. The proposed lot coverage will not be inconsistent with surrounding properties. The construction of a single family home which meets building codes and standards of modern living, will be appropriate and consistent with the surrounding neighborhood and the rights enjoyed by other property owners in this area of the R-10 Zone.

**Explain why this is the minimum variance that will make possible the reasonable use of the land, building or structure:**

The Applicant is before the Board for permission to construct a single family residence on a small parcel. The proposed structure will not encroach into setbacks. The building, including soffits/overhangs, will be at 26% lot coverage. There will be three parking spaces on site. The Applicant has taken great care to develop a building plan which meets his family needs and is appropriate in size for this substandard lot. The first floor will have approximately 770 sf of living space plus a single stall 208 sf garage. There is a bedroom on the first floor to accommodate the Applicant's elderly parents. The second floor has three small bedrooms and two bathrooms. One of the bedrooms has a lockout feature and separate entrance to provide the flexibility for a home occupation. The third floor or roof level has a loft with a home office and outdoor space. The overall proposal has been designed to meet the reasonable living needs of the Applicant and his family while also being appropriate in size for the neighborhood. The hardship is driven by the



small size of this substandard lot. To limit his request for relief to the absolute minimum, the Applicant abandoned any thoughts of a larger home or amenities such as above grade decks and/or balconies extending beyond the footprint of the foundation. The proposed development will result in a dwelling consistent with modern living and will provide the needed space for the Applicant and his elderly parents. Granting the request for dimensional relief for lot coverage is the minimum variance which will allow the reasonable use of the property. Accordingly, the proposed use of the property and the relief sought by the Applicant will not be injurious to, or create a burden or hardship for abutting property owners, will be harmonious with the neighborhood, and will be appropriate in this R-10 residential zone.

### **The Zoning Boards Role**

Special use permits shall be granted only where the zoning board of review finds that the proposed use or the proposed extension or alteration of an existing use is in accord with the public convenience and welfare, after taking into account, where appropriate:

1. The nature of the proposed site, including its size and shape and the proposed size, shape and arrangement of the structure;
2. The resulting traffic patterns and adequacy of proposed off-street parking and loading;
3. The nature of the surrounding area and the extent to which the proposed use or feature will be in harmony with the surrounding area;
4. The proximity of dwellings, churches, schools, public buildings and other places of public gathering;
5. The fire hazard resulting from the nature of the proposed buildings and uses and the proximity of existing buildings and uses;
6. All standards contained in this zoning code;
7. The comprehensive plan for the city.

The burden of proof in a special-use permit application is on the applicant. This means that if the applicant fails to present adequate competent evidence to prove the applicable standard for issuing a special-use permit has been met, the board must deny the application.

In granting a variance, the zoning board of review shall require that evidence of the following standards be entered into the record of the proceedings:

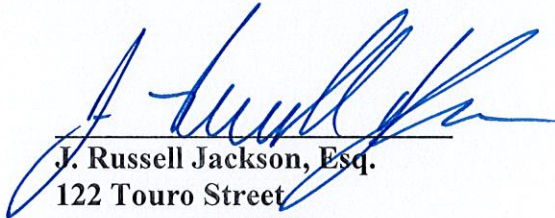
- a) That the reasons set forth in the application justify the granting of the variance and that the variance, if granted, is the minimum variance that will make possible the reasonable use of the land, building or structure;
- b) That the variance will not be injurious to the neighborhood or otherwise detrimental to the public welfare, and will not impair the intent or purpose of the zoning code or the comprehensive plan upon which this zoning code is based;
- c) That the hardship from which the applicant seeks relief is due to the unique characteristics of the subject land or structure and not due to the general

characteristics of the surrounding are; and is not due to a physical or economic disability of the applicant; and

- d) That the hardship is not the result of any prior action of the applicant and does not result primarily from the desire of the applicant to realize greater financial gain;
- e) That the hardship that will be suffered by the owner of the subject property if the dimensional variance is not granted shall amount to more than a mere inconvenience. The fact that a use may be more profitable or that a structure may be more valuable after the relief is granted shall not be grounds for relief.

**By signing below, I hereby attest that the information provided is accurate and truthful. I also attest that I have read the section entitled "The Zoning Board's Role".**

**Applicants & Owners,  
By Their Attorneys,  
Miller Scott Holbrook & Jackson**



**J. Russell Jackson, Esq.**

**122 Touro Street**

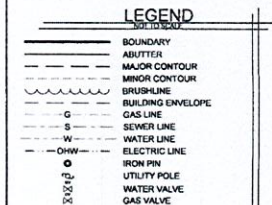
**Newport, RI 02840**

**Tel: 401-847-7500**

**Fax: 401-848-5854**

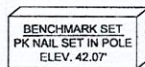
**[jrjackson@millerscott.com](mailto:jrjackson@millerscott.com)**





THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES. THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES WIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

1. DEEDS PER A.P. 18 LOTS 70, 69, 71, 72, 73, 75, 89, 90, 91 & 91-4, WHICH ARE LOCATED IN THE NEWPORT LAND EVIDENCE RECORDS



8" TRANS

REBAR TO BE SET  
N: 150002.2260  
E: 379633.4696

A.P. 18 LOT 69  
N/F WILLIAM T. EMMET  
D.B. 1571 PG. 108



**1-888-DIG-SAFE**  
**PROTECT YOURSELF, GIVE 10**  
**WORKING DAYS NOTICE**

## R10 ZONING

ZONING DISTRICT	R10
MINIMUM LOT AREA	10,000
MINIMUM LOT WIDTH	80'
MINIMUM LOT FRONTAGE	80'
MINIMUM FRONT YARD SETBACK	15'
MINIMUM SIDE YARD SETBACK	10'
MINIMUM REAR YARD SETBACK	20'
MAXIMUM LOT BUILDING COVERAGE	20%
MAXIMUM BUILDING HEIGHT	30'

KINGSTON AVE  
(PUBLIC VARIABLE WIDTH)

HEATH STREET  
(PUBLIC VARIABLE WIDTH)

SMH  
RIM: 40.22'  
INV. 33.82

A.P. 18 LOT 89  
N/F RACHEL A. NUZZO  
D.B. 2746 PG. 55

REBAR TO BE SET  
N: 149926.0614  
E: 379698.2689

**A.P. 18 LOT 72  
N/F HEATH STREET  
CONDOMINIUM  
D.B. 2263 PG. 21**

A.P. 18 LOT 71  
N/F JOSHUA DAVID  
& KYRA FAGAN  
D.B. 2276 PG. 35

A.P. 18 LOT 70  
N/F JOANNE CORIANDER  
D.B. 230 PG. 9

LOT AREA  
5,000 SQ. FT.  
0.1148 ACRES

A.P. 18 LOT 90  
N/F MARY M. GROARKE  
D.B. 1612 PG. 148

REBAR TO BE SET  
N: 149893.6617  
E: 379660.1865

A.P. 18 LOT 91-4  
N/F PHILIP B. LLOYD  
D.B. 313 PG. 648

NORBERT A. THERIEN

No. 1739

PROFESSIONAL  
LAND SURVEYOR

A.P. 18 LOT 73  
N/F HEATH STREET LLC  
D.B. 1957 PG. 263

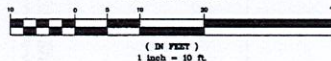
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY  
MEASUREMENT SPECIFICATION: CLASS 1 STANDARD

#### PURPOSE OF SURVEY: EXISTING CONDITIONS

BY: Norbert A. Therien  
NORBERT A. THERIEN, PLS NO. 1739

GRAPHIC SCALE



PRINCIPLE  
COMPANY

**PRINCIPE COMPANY, INC.**  
**ENGINEERING DIVISION**  
27 SAKONNET RIDGE DRIVE  
TIVERTON, RI 02878  
401.816.5385  
PRINCIPEENGINEERING.COM  
SURVEY@PRINCIPEENGINEERING.COM

**EXISTING CONDITIONS**  
for  
**JOANNE CORIANDER**  
**AP 18 LOT 70**  
**HEATH STREET**  
in  
**NEWPORT, RHODE ISLAND**

SCALE: 1"=10'		SHEET NO: 1 OF 1	
DRAWN BY: RAW		DESIGN BY: TJP	CHECKED BY: NAT
DATE: 2/28/2022		PROJECT NO.: ERSC-21-24	







CUSTOM HOUSE OPTION A

# HEATH STREET RESIDENCE

SCHEMATIC DEISGN

NOT FOR CONSTRUCTION

12 JANUARY 2022

DRAWING LIST	
Sheet Number	Sheet Name
GENERAL	
G0.00	COVER
G0.01	PROJECT INFORMATION
G1.00	ZONING SUMMARY
ARCHITECTURAL	
A1.00	FIRST FLOOR PLAN
A1.01	SECOND FLOOR PLAN
A1.02	THIRD FLOOR PLAN
A1.03	ROOF PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A4.01	EXTERIOR VIEWS
AB.01	DOOR & FRAME SCHEDULE



SCHEMATIC DESIGN  
ISSUED FOR : CLIENT REVIEW  
NOT FOR CONSTRUCTION  
12 JANUARY 2022

REVISIONS	

COVER

DRAWN BY: VP  
CHECKED BY: VP  
SHEET SIZE: ARCH D 24" X 36"

G0.00



## MATERIAL DRAFTING PATTERNS

	ALUMINUM
	BRICK
	CONCRETE
	CONCRETE BLOCK
	CERAMIC TILE, HORIZONTAL SURFACE
	CERAMIC TILE, VERTICAL SURFACE
	EARTH
	ENGINEERED WOOD (DOF, HOF, ETC)
	EXISTING, UNEXCAVATED
	GLASS, SPECIALTY
	GLASS, HORIZONTAL SURFACE
	GLASS, VERTICAL SURFACE
	GYPSUM PLASTER
	METAL (STEEL, ETC.)
	PLASTIC
	PLYWOOD
	POROUS FILL (GRAVEL, CRUSHED STONE, ETC.)
	RIGID INSULATION
	RUBBLE
	SHINGLE
	WOOD (EDGE GRAIN)
	WOOD (END GRAIN)
	WOOD (FACE GRAIN)
	GENERIC 1
	GENERIC 2
	GENERIC 3
	GENERIC 4
	GENERIC 5
	GENERIC 6

## SYMBOLS

EXTERIOR ELEVATION	
INTERIOR ELEVATION	
SECTION	
ELEVATION	
SPOT ELEVATION	
COLUMN GRID MARK	
ROOM NAME AND MARK	
DOOR MARK	
WALL TYPE	
WINDOW TYPE	
FURNITURE / SPECIALTY EQUIPMENT MARK	
BREAK LINE	
LEADER	
DIMENSION	
REVISION CLOUD	
ALIGN	
FLOOR FINISH	
MOULUP LOCATION	

## COMMON ABBREVIATIONS

ABV	ABOVE	L.E.D.	LIGHT EMITTING DIODE
ACC.	ACCESSIBLE	L.H.	LEFT HAND
ACT	ACTUATOR	L.B.	LIBRARY
ADJ.	ADJUSTABLE OR ADJACENT	LVR	LOCKER
AE	ARCHITECT/ENGINEER	LVL	LAMINATED VENEER LUMBER
AF.F.	ABOVE FINISH FLOOR	LOC.	LOCATION
AHJ	AUTHORITY HAVING JURISDICTION	L.O.W.	LIMIT OF WORK
ALUM.	ALUMINUM	LVR	LOUVER
ALT.	ALTERNATE	MAS.	MASONRY
ANDC.	AND/OR	MAT.	MATERIAL
ARCH.	ARCHITECTURAL	MAX.	MAXIMUM
A.P.	ACCESS PANEL	MED.	MECHANICAL
APT.	APARTMENT	MED.	MEDIUM
APPROX.	APPROXIMATE	MEMB.	MEMBRANE
AS	ARCHITECT'S SUPPLEMENTAL INSTRUCTION	MFC	MEDIUM DENSITY FIBERBOARD
AUTO.	AUTOMATIC	MR.	MINIMUM
AUX.	AUXILIARY	MISC.	MISCELLANEOUS
BAS.	BUILDING AUTOMATION SYSTEM	M.O.	MASONRY OPENING
BD.	BOARD	M.R.	MOISTURE RESISTANT
BDRM.	BEDROOM	MTD.	MOUNTED
BTUM.	BITUMINOUS	MTL.	METAL
BLDG.	BUILDING	N.A.	NOT APPLICABLE
BLNG.	BLOCKING	NAT.	NATURAL
BLW.	BELLOW	N.C.	NONE CERTAIN
BSMT.	BASEMENT	N.I.C.	NOT IN CONTRACT
BTM.	BOTTOM	NIL.	NICKEL
BRK.	BRICK	NOM.	NOMINAL
BRZ.	BROUZE	N.R.C.	NOISE REDUCTION COEFFICIENT
BTWN.	BETWEEN	N.T.S.	NOT TO SCALE
CAB.	CABINET	O.C.	ON CENTER
C.F.M.F.	COLD-FORMED METAL FRAMING	OCF.	OWNER FURNISHED CONTRACTOR INSTALLED
C.L.	CENTER LINE	OFI.	OWNER FURNISHED OWNER INSTALLED
CLG.	CEILING	O.H.	OPPOSITE HAND
CLR.	CLEARANCE	OPNG.	OPENING
C.J.	CONTROL JOINT	OPP.	OPPOSITE
CMU.	CONCRETE MASONRY UNIT	ORIG.	ORIGINAL
COL.	COLUMN	OVHD.	OVERHEAD
COMP.	COMPRESSED (CON, BRLE)	OZ.	OUNCE
CONC.	CONCRETE	PERP.	PERPENDICULAR
CONST.	CONSTRUCTION	PLAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS (GUS)	PNT.	PAINT
COORD.	COORDINATE	PTD.	PAINTED
CORR.	CORRUGATED	PR	PAIR
CPR.	COPPER	P.T.	PRESSURE TREATED
C.T.	CUTTING TILE	PTN.	PARTITION
C.T.E.	CONNECT TO EXISTING	PLYWD.	PLYWOOD
C.U.V.	CABINET UNIT HEATER	Q.T.	QUARRY TILE
DBL.	DOUBLE	R.R.	RESILIENT BASE
DEM.	DEMOLISH (LITON)	R.D.	ROOF DRAIN
DET.	DETAIL	REF.	REFER
D.F.	DRINKING FOUNTAIN	REF.	REFRIGERATOR
DH.	DOUBLE HUNG	REQ.	REQUIRED
DN.	DOWN	RES.	RESILIENT
DIAG.	DIAGONAL	REV.	REVISION
DN.	DOWN	R.H.	RIGHT HAND
DR.	DOOR	RM.	ROOM
DS.	DOWNSPOUT	R.O.	ROUGH OPENING
DTL.	DETAIL	SCHED.	SCHEDULE
DWG.	DRAWING	SECT.	SECTION
DX.	DUPLEX	SF.	SQUARE FEET
EA.	EACH	SHT.	SHEET
EL.	ELEVATION	SHT.	SHEATHING
ELEC.	ELECTRICAL	SM.	SIMILAR
ELEV.	ELEVATOR	SPC.	SPECIFICATION (LOCATION)
EMER.	EMERGENCY	SRL.	SUBMITTAL REVIEW LETTER
EMS.	EMERGENCY MANAGEMENT SYSTEM	SO.	SQUARE
E.J.	EXPANSION JOINT	S.S.	STAINLESS STEEL
EQ.	EQUAL	S.M.	SOLID SURFACE MATERIAL
EQUIP.	EQUIPMENT	STD.	STANDARD
ETR.	EXISTING TO REMAIN	STOR.	STORAGE
EXT.	EXTENDING	STL.	STEEL
F.A.	FIRE ALARM	STRUCT.	STRUCTURAL
F.A.R.	FLOOR AREA RATIO	SUSP.	SUSPENDED
F.C.U.	FAN COIL UNIT	SYS.	SYSTEM
F.D.	FLOOR DRAIN	T&G.	TONGUE AND GROOVE
FDN.	FOUNDATION	TBD.	TO BE DETERMINED
F.E.	FIRE EXTINGUISHER	TEL.	TELEPHONE
FEC.	FIRE EXTINGUISHER CABINET	TEMP.	TEMPORARY
FAC.	FURNITURE, FIXTURE, AND EQUIPMENT	THK.	THICKNESS
FGL.	FIBERGLASS	THR.	THRESHOLD
FIN.	FINISH	THRU.	THROUGH
FIXT.	FIXTURE	T.O.	TOP OF
FL.	FLOOR	TSTAT.	THERMOSTAT
FLUOR.	FLUORESCENT	TPP.	TYPICAL
F.O.	FACE OF	TZ.	TERRAZZO
F.P.	FIRE PROTECTION	U.H.	UNIT HEATER
FT.	FOOTING	U.N.D.	UNLESS NOTED OTHERWISE
FTG.	FOOTING	U.O.N.	UNLESS NOTED OTHERWISE
FURN.	FURNITURE	VERT.	VERTICAL
GA.	GAGE	V.I.F.	VERIFY IN FIELD
GALV.	GALVANIZED	VAL.	VALVE/VALVE
GB.	GRAB BAR	W.	WITH
GL.	GLASS	W.C.	WATER CLOSET
GLAM.	GLUE LAMINATED BEAM	WD.	WOOD
GLZ.	GLAZING	WN.	WINDOW
GWB.	GYPSUM BOARD	Z.C.C.	ZINC COATED COPPER
HC.	HANDICAP	&	AND
HDF.	HIGH DENSITY FIBERBOARD		
HM.	HOLLOW METAL		
HDMR.	HARDWARE		
HOR.	HORIZONTAL		
HR.	HOUR		
HT.	HEIGHT		
IN.	INCHES		
INCL.	INCLUDED (DURING)		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		
J.C.	JANITOR'S CLOSET		
JABOX.	JUNCTION BOX		
JT.	JOINT		
KIT.	KITCHEN		
LAB.	LABORATORY		
LAV.	LAVATORY		
LB.	LOADING		



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Fagan-Design.com

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CUSTOM HOUSE OPTION A  
**HEATH STREET RESIDENCE**  
HEATH STREET  
NEWPORT, RHODE ISLAND

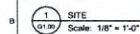
SCHEMATIC DESIGN  
ISSUED FOR: CLIENT REVIEW  
NOT FOR CONSTRUCTION  
12 JANUARY 2022

REVISIONS

PROJECT INFORMATION  
DRAWN BY: VP  
CHECKED BY: VP  
SHEET SIZE: ARCH D 34" X 36"  
**G0.01**







	MAXIMUM	EXISTING	PROPOSED
LOT COVERAGE (% OF LOT)	20	xx	25
BUILDING HEIGHT (FT.)	30	xx	29
BUILDING STORES	xx	xx	xx
	MINIMUM REQ.	EXISTING	PROPOSED
OPEN SPACE	80	xx	75
PARKING	xx	xx	xx
	FRONT	SIDE	REAR
MINIMUM SETBACKS (FT.)	15	10	20



**G1.00**





FAGAN DESIGN  
BUILD STUDIO

FAGAN DESIGN BUILD STUDIO

PO BOX 774  
Newport, RI 02840  
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fagan1@gmail.com  
Fagan-Design.com

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Bristol, RI  
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Pacific-Visions.com

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CUSTOM HOUSE OPTION A  
**HEATH STREET RESIDENCE**

8 HEATH STREET  
NEWPORT, RHODE ISLAND

SCHEMATIC DESIGN  
ISSUED FOR : CLIENT REVIEW  
NOT FOR CONSTRUCTION  
12 JANUARY 2022

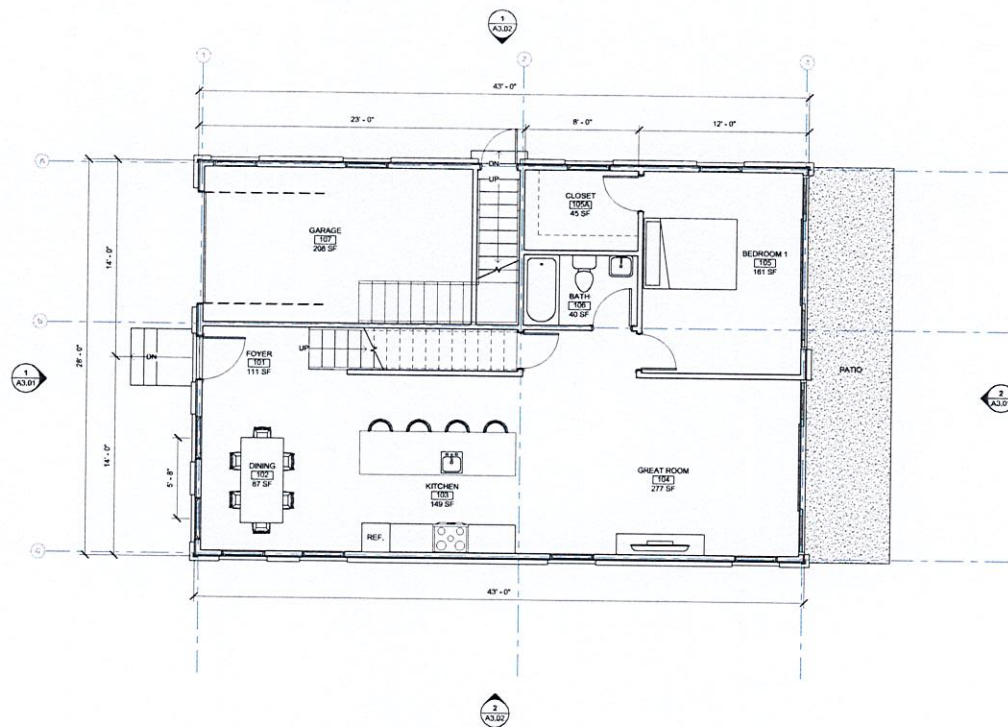
REVISIONS

NO.	DESCRIPTION

FIRST FLOOR PLAN

DRAWN BY: VP  
CHECKED BY: VP  
SHEET SIZE: ARCH D 34" X 36"

**A1.00**



1 FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"





FAGAN DESIGN  
BUILD STUDIO

FAGAN DESIGN BUILD STUDIO

PO BOX 774  
Newport, RI 02840  
401.855.4873  
fagan1@gmail.com  
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495 Hope Street STE 2B  
Bristol, RI  
401.203.3181  
info@pacificvisions.com

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HEATH STREET RESIDENCE

CUSTOM HOUSE OPTION A

8 HEATH STREET  
NEWPORT, RHODE ISLAND

SCHEMATIC DESIGN  
ISSUED FOR: CLIENT REVIEW  
NOT FOR CONSTRUCTION  
12 JANUARY 2022

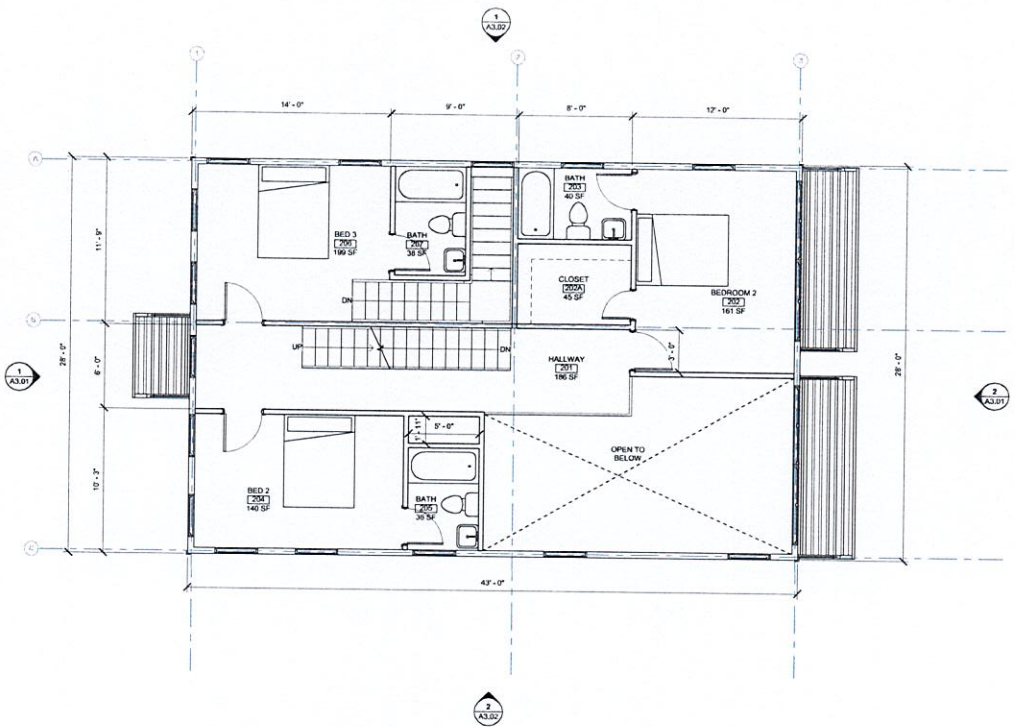
REVISIONS

NO.	DESCRIPTION	DATE

SECOND FLOOR PLAN

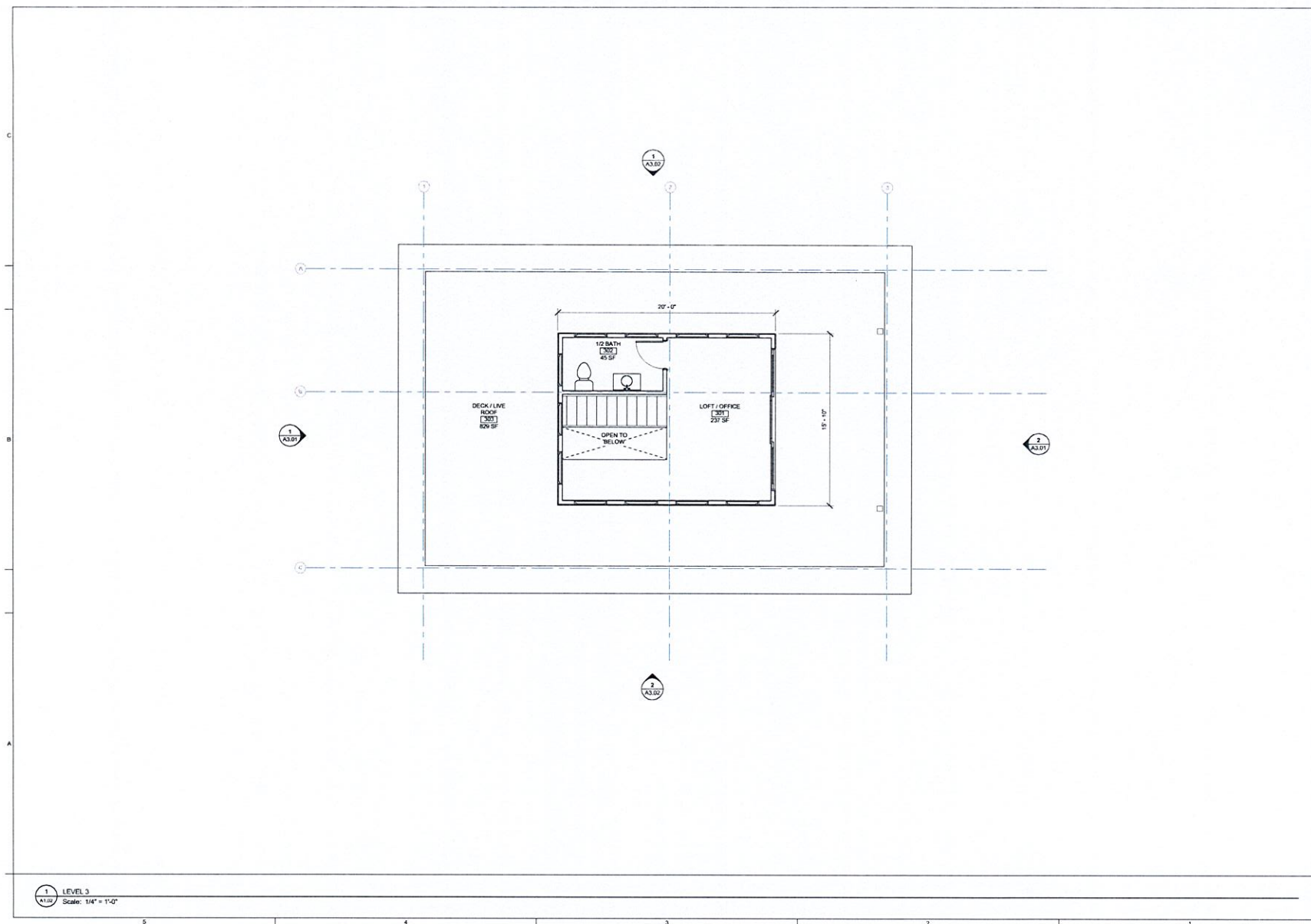
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CHECKED BY: VP  
SHEET SIZE: ARCH D 34" X 36"

A1.01



1 SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"









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CUSTOM HOUSE OPTION A  
**HEATH STREET RESIDENCE**  
A HEATH STREET  
NEIGHBORHOOD  
PROJECT, BRISTOL ISLAND

SCHEMATIC DESIGN  
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NOT FOR CONSTRUCTION  
12 JANUARY 2022

#### REVISIONS

NO.	DESCRIPTION

#### EXTERIOR ELEVATIONS

DRAWN BY: VP  
CHECKED BY: VP  
SHEET SIZE: ARCH D 24" X 36"

**A3.01**



1 WEST ELEVATION  
Scale: 1/4" = 1'-0"



2 EAST ELEVATION  
Scale: 1/4" = 1'-0"





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CUSTOM HOUSE OPTION A  
**HEATH STREET RESIDENCE**  
HEATH STREET  
NEWPORT, RHODE ISLAND

SCHEMATIC DESIGN  
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12 JANUARY 2022

#### REVISIONS


#### EXTERIOR ELEVATIONS

DRAWN BY: VP  
CHECKED BY: VP  
SHEET SIZE: ARCH D 24" X 36"

**A3.02**





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CUSTOM HOUSE OPTION A  
**HEATH STREET RESIDENCE**  
9 HEATH STREET  
NEWPORT, BRIDGE ISLAND

SCHEMATIC DESIGN  
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12 JANUARY 2022

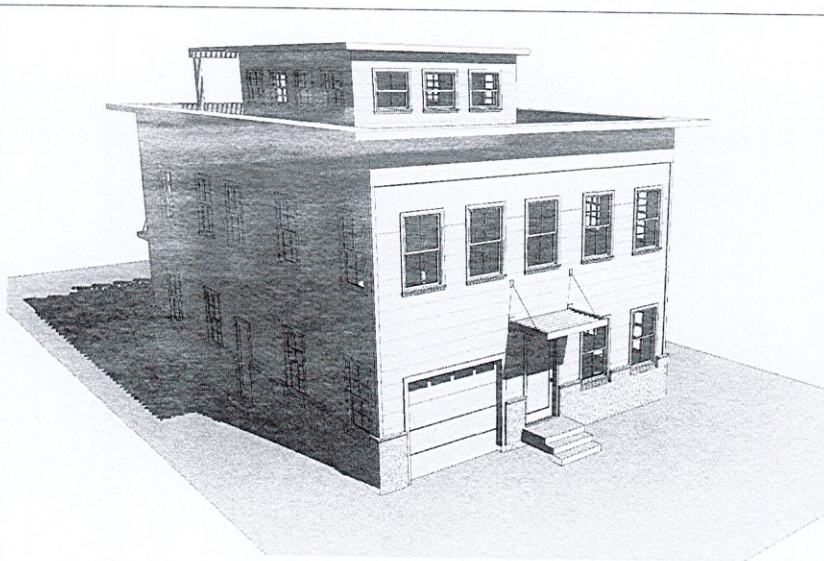
REVISIONS

NO.	DESCRIPTION	DATE

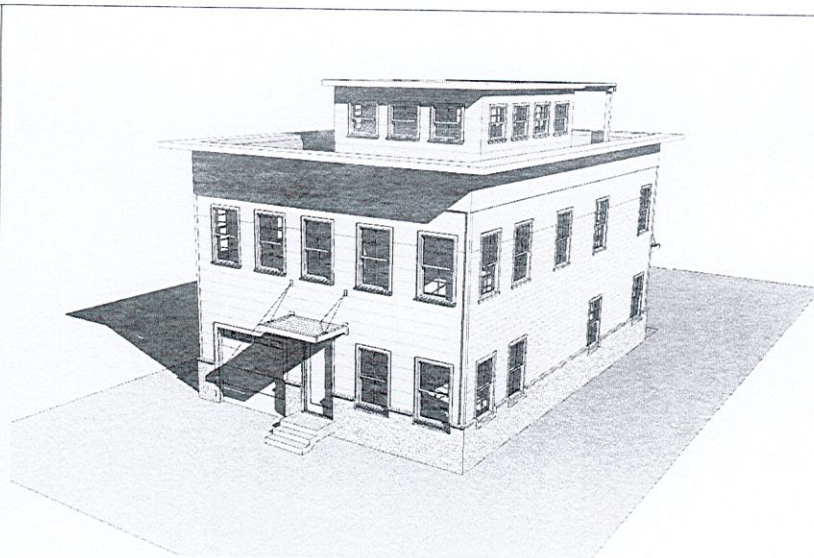
EXTERIOR 3D VIEWS

DRAWN BY: VP  
CHECKED BY: VP  
SHEET SIZE: ARCH D 24" X 36"

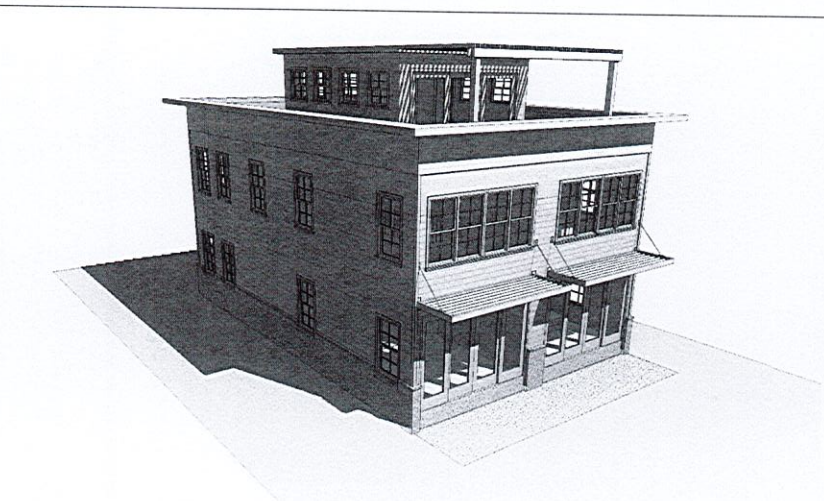
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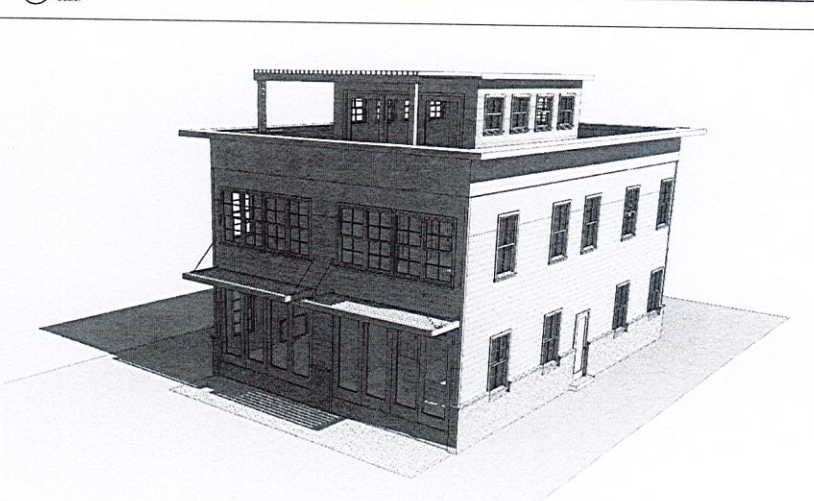
1 3D View 1  
A4.01 Scale:



2 3D View 2  
A4.01 Scale:



3 3D View 3  
A4.01 Scale:



4 3D View 4  
A4.01 Scale:



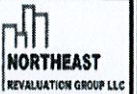
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## Newport

(Summary Data - may not be Complete Representation of Property)



Parcel: 18-070  
Account: 3371

Location: 0 HEATH ST  
User Acct: R03559

Owner: CORIANDER JOANNE  
LUC: 13 - Res Vacant

Zoning: R10

### Parcel Values

Total: \$127,600      Land: \$127,600      Land Area: 4,815 SF      Building: \$0      Assessed: \$127,600

### Sales Information

Book and Page	Instrument Type	Date	Price	Grantor
230-9		01/01/1900	\$0	

Building Type:	Year Built:	Grade:	Condition: AV
Heat Fuel:	Heat Type:	% Air Conditioned: 0.00	Fireplaces: 0
Exterior Wall:	Bsmnt Garage: 0	Roof Cover:	# of Units: 0
# of Rooms: 0	# of Bedrooms: 0	Full Bath: 0	1/2 Baths: 0

### Yard Item(s)

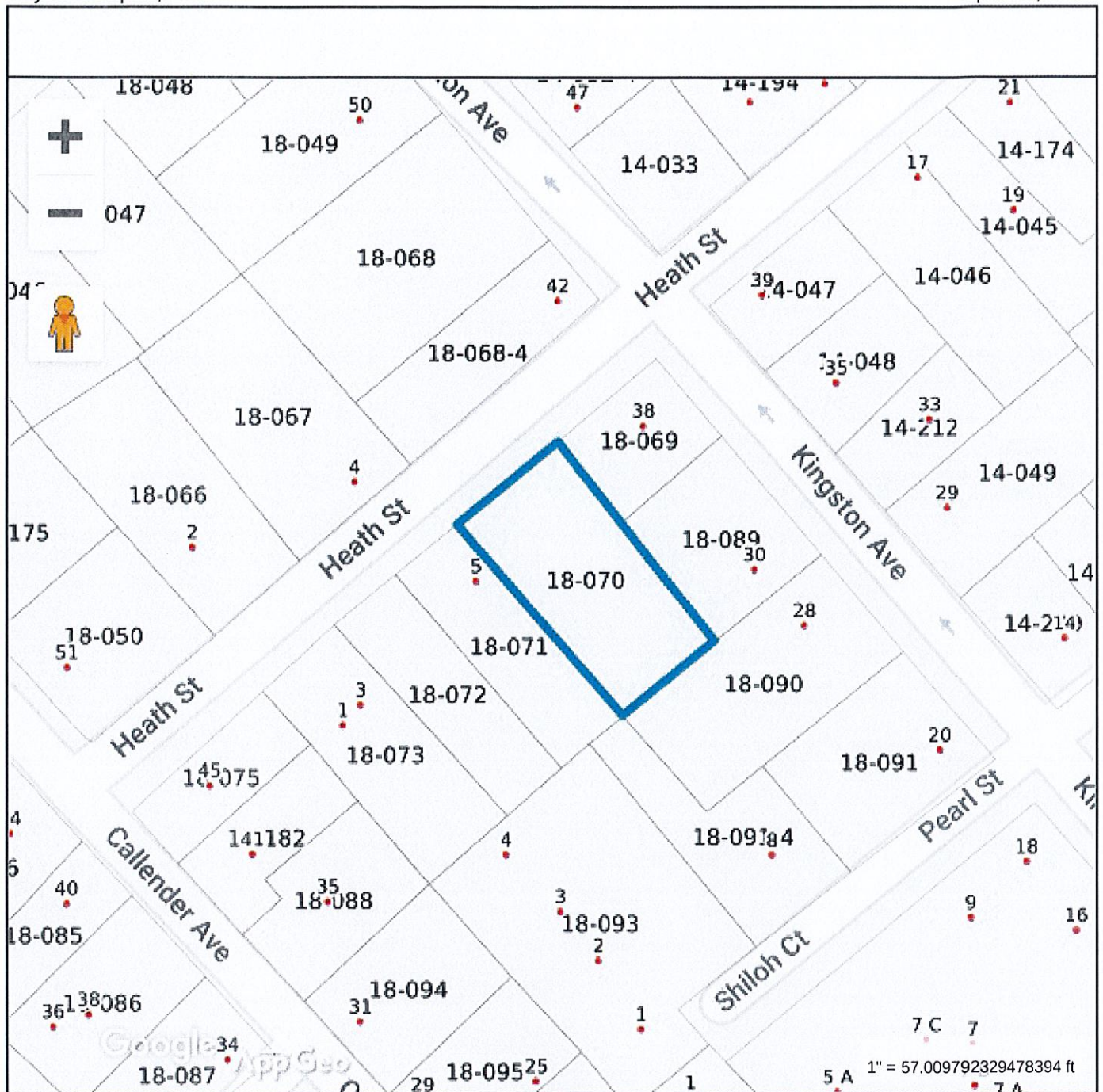
Description	Quantity	Size	Year	Condition	Quality	Value
-------------	----------	------	------	-----------	---------	-------

### Building Areas

Area	Net Area	Finished Area
------	----------	---------------

Disclaimer: This information is for tax  
assessing purposes  
and is not warranted





## Property Information

ID 18-070  
 Location 0 HEATH ST  
 Owner



MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT

City of Newport, RI makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Print map scale is approximate.  
 Critical layout or measurement  
 activities should not be done using  
 this resource.