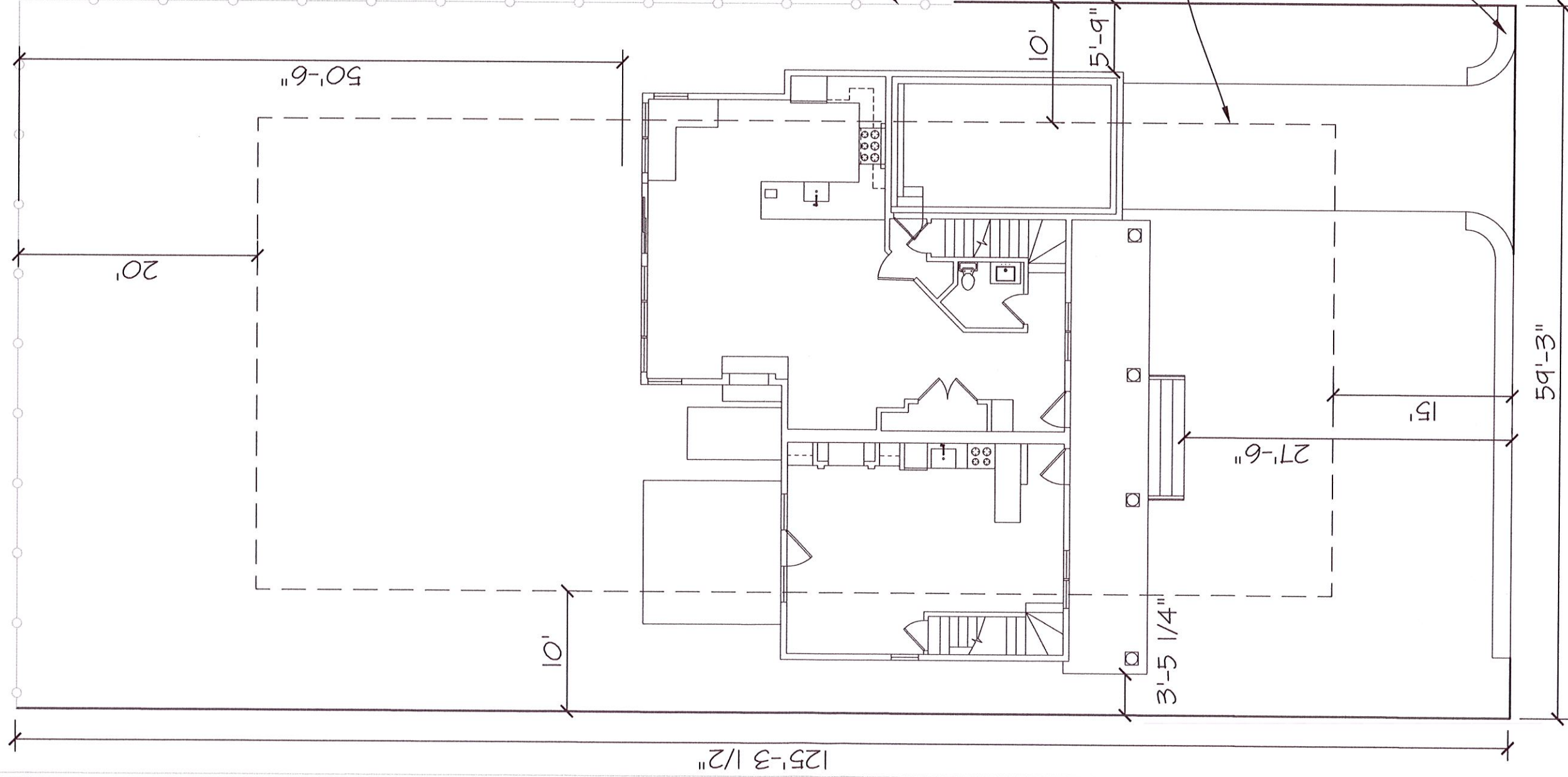


18 CLIFF AVE ZONING ANALYSIS
PLAT 31, LOT 122

ZONING DISTRICT	R-10
EXISTING FOOTPRINT PROPOSED FOOTPRINT	1,987 SF TBD
LOT SIZE EXISTING (PER TAX ASSR) REQUIRED PROPOSED	6,969 SF SF NO CHANGE
LOT COVERAGE % EXISTING ALLOWED PROPOSED	28.5% (1,987 SF) 20% (1,394 SF) TBD
FRONT (EAST) SETBACK EXISTING REQUIRED: PROPOSED	27'-6" 15'-0" TBD
LEFT SIDE (SOUTH) SETBACK EXISTING REQUIRED PROPOSED	3'-5 1/4" 10'-0" TBD
RIGHT SIDE (NORTH) SETBACK EXISTING REQUIRED PROPOSED	5'-9" 10'-0" TBD
REAR (WEST) SETBACK EXISTING REQUIRED PROPOSED	52'-2" 20'-0" TBD
HEIGHT EXISTING ALLOWED PROPOSED	28'-4" 30'-0" TBD



1 EXISTING SITE PLAN
SCALE: 1" = 10'-0"

HEIDEN RESIDENCE
18 CLIFF AVE, NEWPORT RI

REVISIONS:
STATUS: FOR ZONING APPROVAL
DATE: 1.22.21
DESCRIPTION: EXISTING SITE PLAN
DRAWING # E-SITE



SPRING STREET
STUDIO

401.662.5621

203 GODDARD ROW
NEWPORT, RI 02840

HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

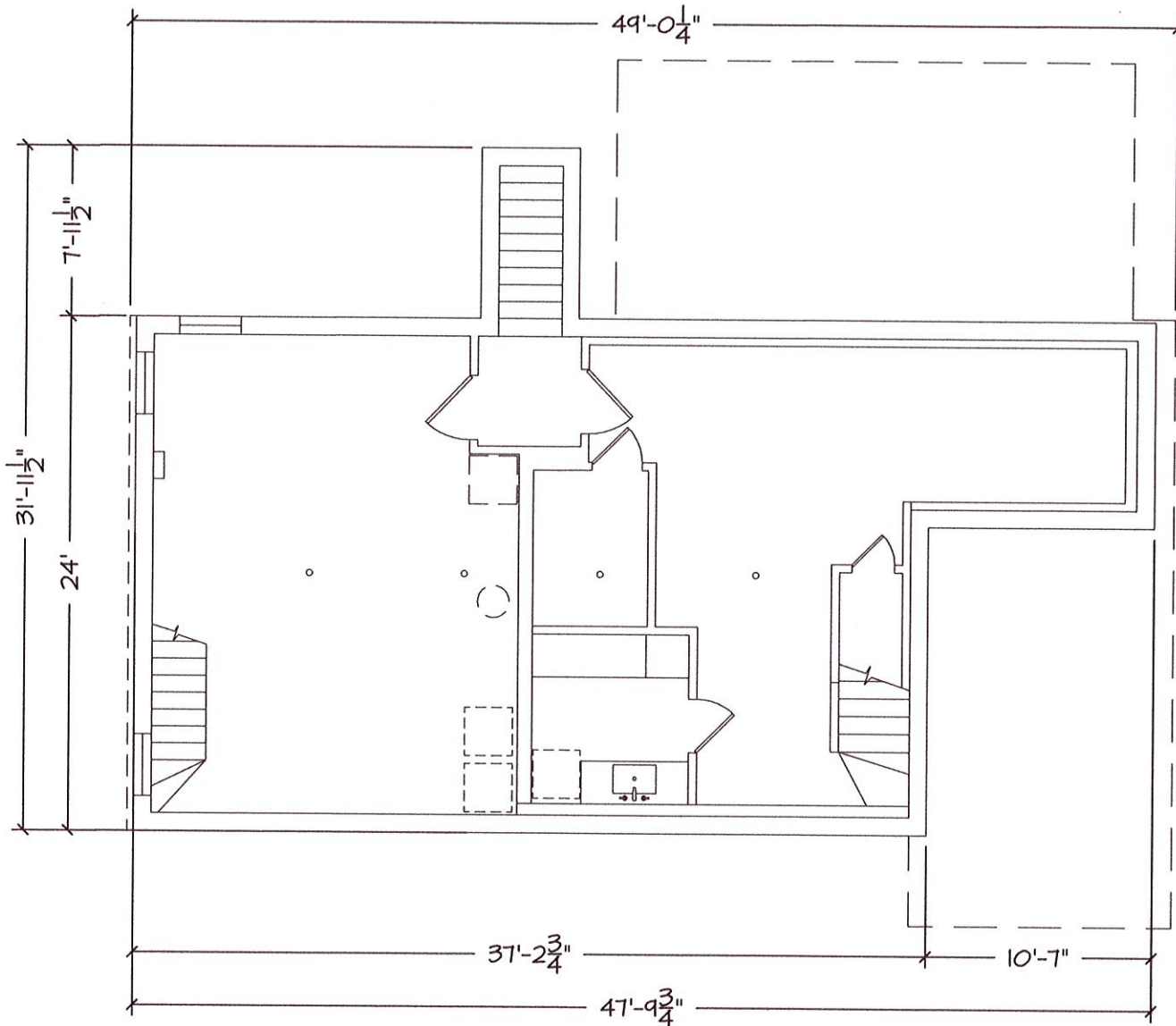
1.22.21

DESCRIPTION:

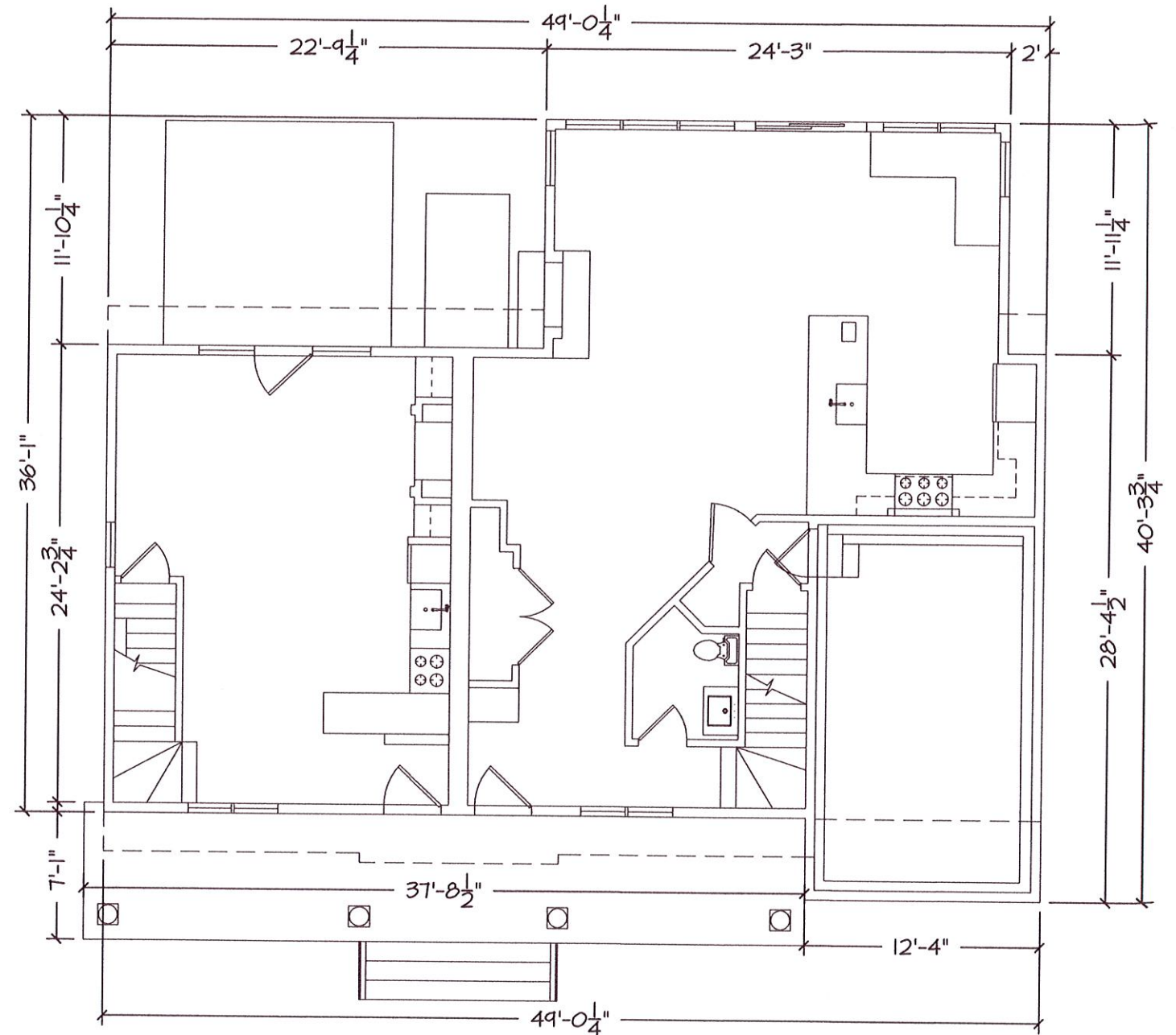
EXISTING
PLANS

DRAWING #

E1.0



1 EXISTING BASEMENT LEVEL PLAN
1/8" = 1'-0"



2 EXISTING FIRST FLOOR PLAN
1/8" = 1'-0"



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STUDIO
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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

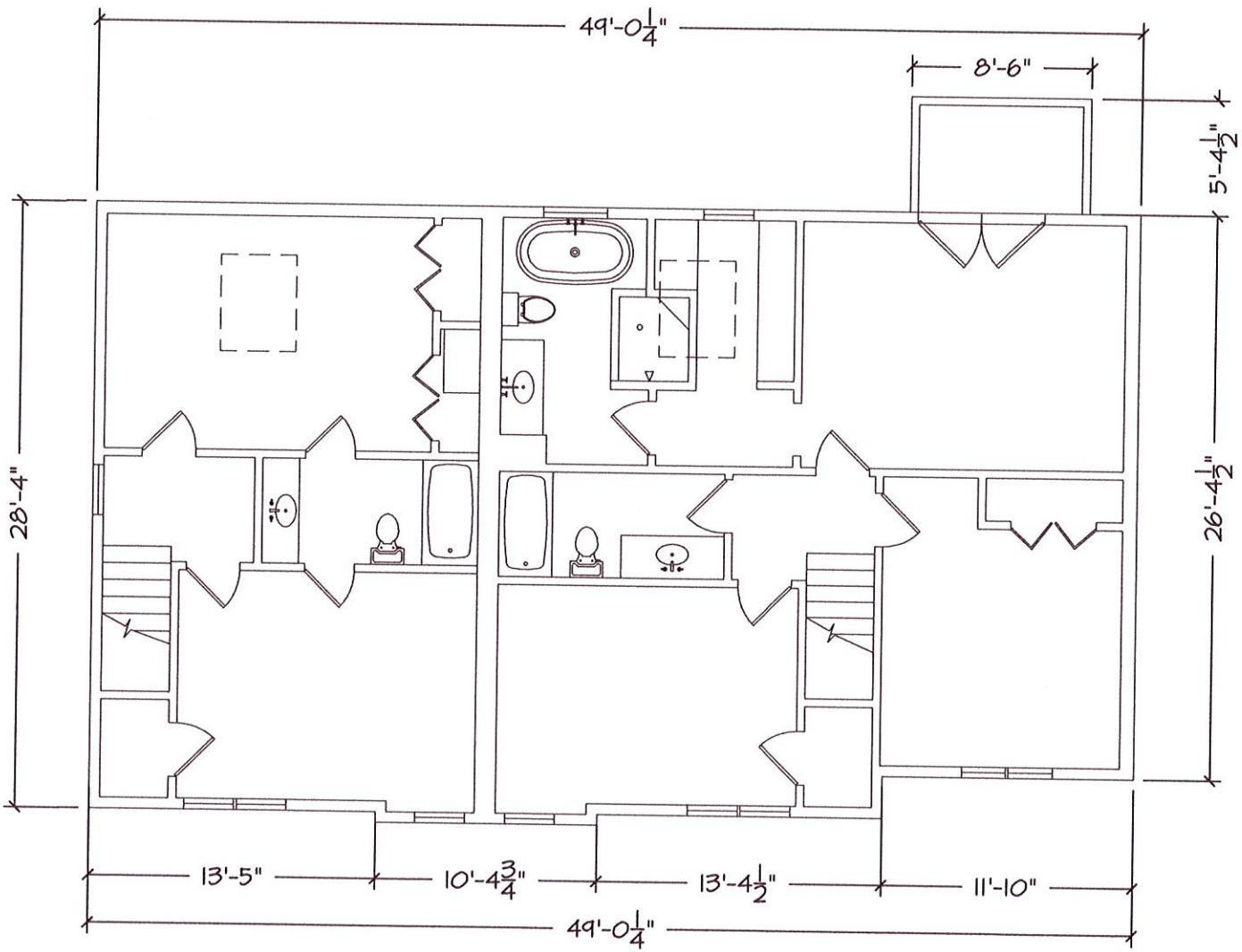
STATUS:
FOR ZONING
APPROVAL

DATE:
1.22.21

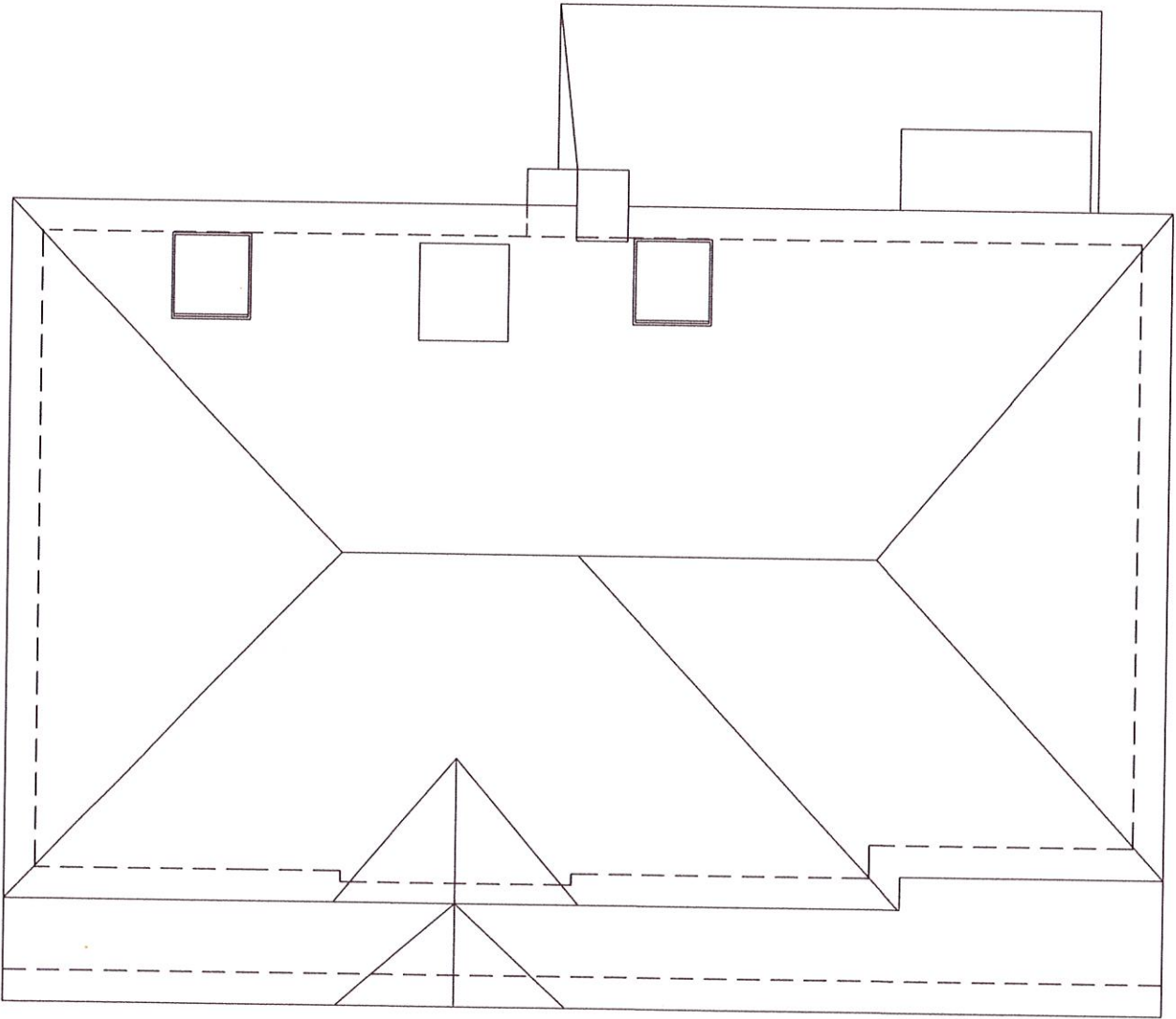
DESCRIPTION:
EXISTING
PLANS

DRAWING #

E1.1



1 EXISTING SECOND FLOOR PLAN
1/8" = 1'-0"



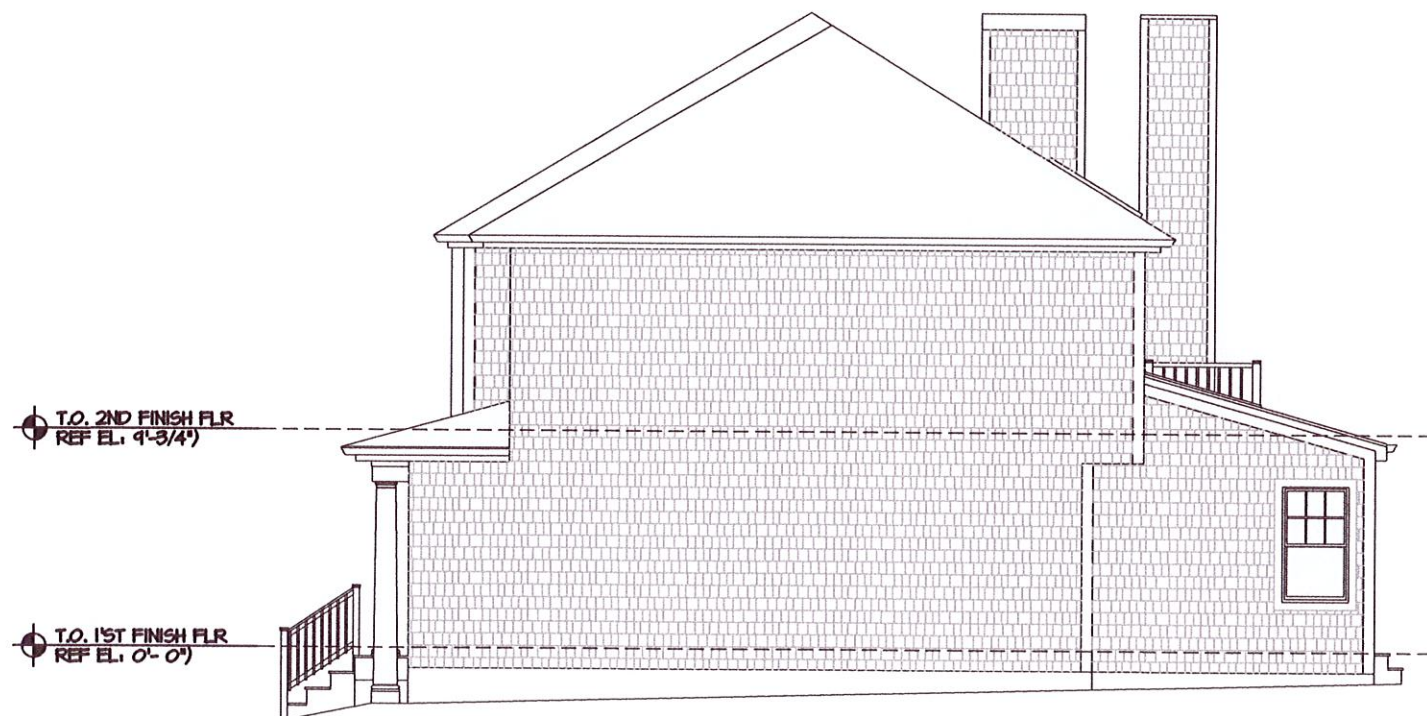
2 EXISTING ROOF PLAN
1/8" = 1'-0"



1 EXISTING NORTH ELEVATION
1/8" = 1'-0"



2 EXISTING EAST ELEVATION
1/8" = 1'-0"



3 EXISTING SOUTH ELEVATION
1/8" = 1'-0"



4 EXISTING WEST ELEVATION
1/8" = 1'-0"



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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:
FOR ZONING
APPROVAL

DATE:
1.22.21

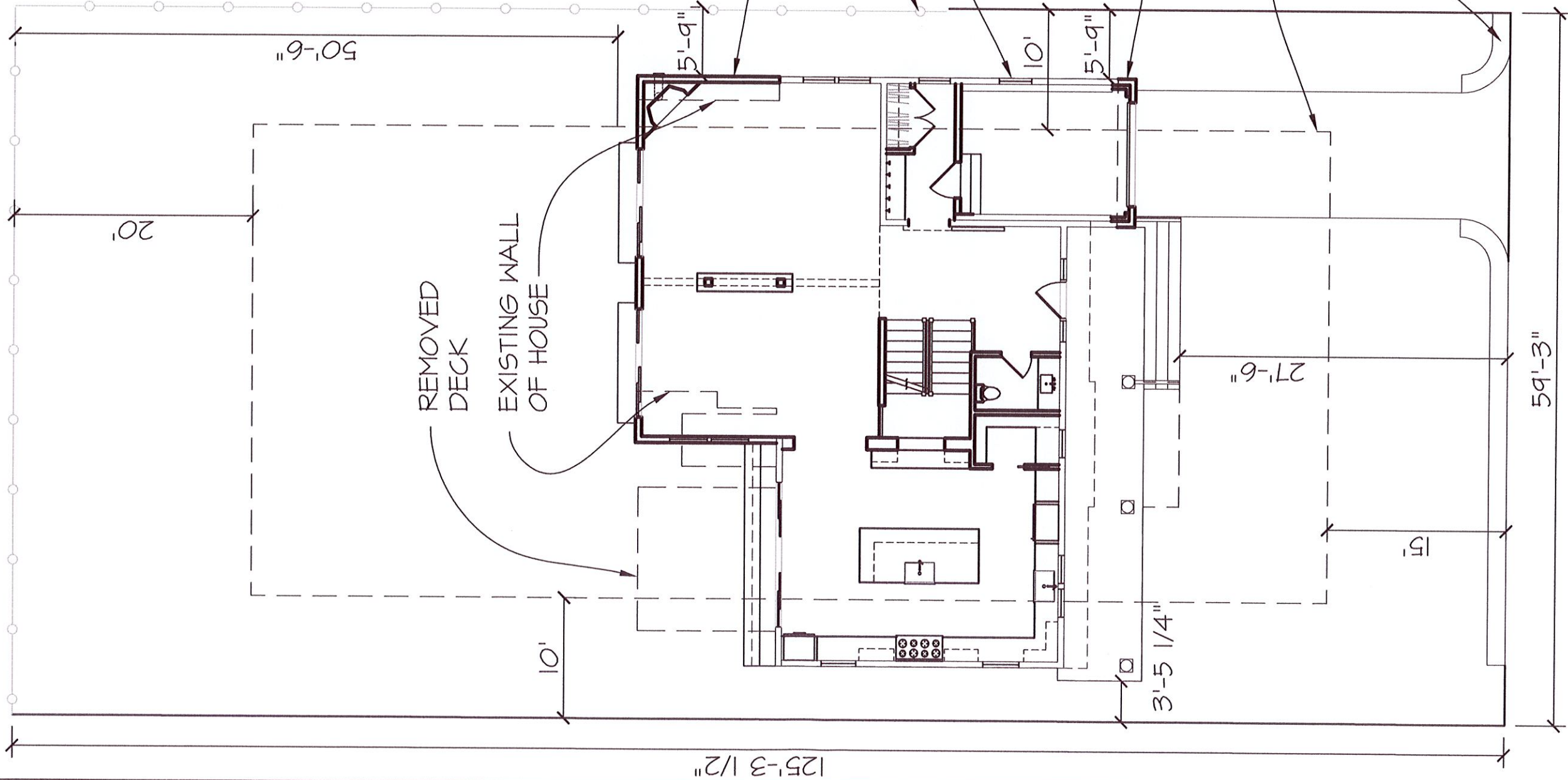
DESCRIPTION:
EXISTING
ELEVATIONS

DRAWING #

E2.0

18 CLIFF AVE ZONING ANALYSIS
PLAT 31, LOT 122

ZONING DISTRICT	R-10
EXISTING FOOTPRINT	1,987 SF
PROPOSED FOOTPRINT	2,007 SF
LOT SIZE	
EXISTING (PER TAX ASSR)	6969 SF
REQUIRED	SF
PROPOSED	NO CHANGE
LOT COVERAGE %	
EXISTING	28.5% (1,987 SF)
ALLOWED	20% (1,394 SF)
PROPOSED	29% (2,007 SF)
FRONT (EAST) SETBACK	
EXISTING	27'-6"
REQUIRED:	15'-0"
PROPOSED	24'-10"
LEFT SIDE (SOUTH) SETBACK	
EXISTING	3'-5 1/4"
REQUIRED	10'-0"
PROPOSED	NO CHANGE
RIGHT SIDE (NORTH) SETBACK	
EXISTING	5'-9"
REQUIRED	10'-0"
PROPOSED	5'-9"
REAR (WEST) SETBACK	
EXISTING	52'-2"
REQUIRED	20'-0"
PROPOSED	50'-8"
HEIGHT	
EXISTING	28'-4"
ALLOWED	30'-0"
PROPOSED	30'-0"



1 SITE PLAN
SCALE: 1" = 10'-0"

HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI



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REVISIONS:

STATUS:
FOR ZONING
APPROVAL

DATE:
1.22.21

DESCRIPTION:
PROPOSED
SITE PLAN

DRAWING #

A-SITE



SPRING STREET
STUDIO
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NEWPORT, RI 02840

HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

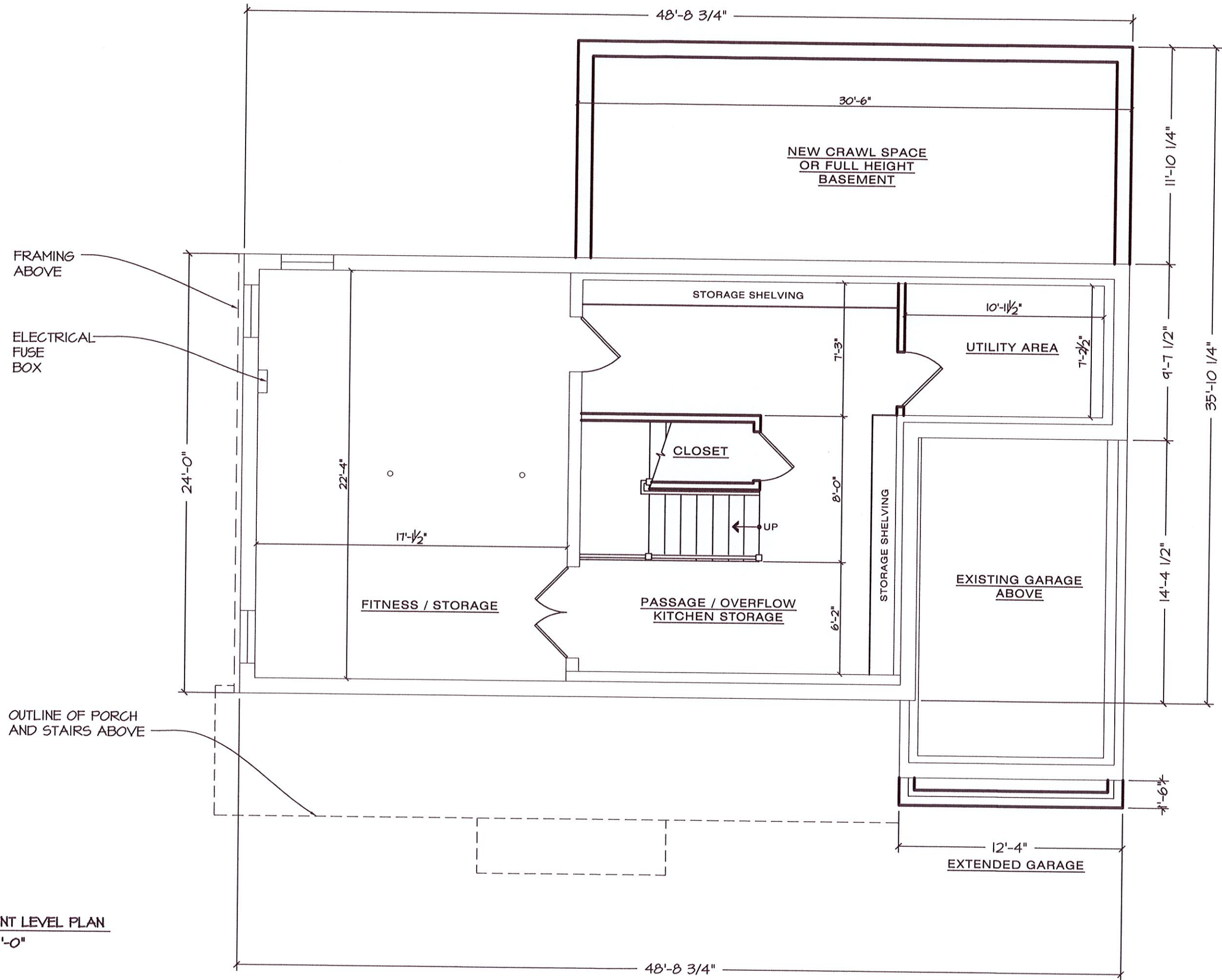
STATUS:
FOR ZONING
APPROVAL

DATE:
1.22.21

DESCRIPTION:
BASEMENT
PLAN

DRAWING #

A1.0



1 BASEMENT LEVEL PLAN
3/16" = 1'-0"



SPRING STREET
STUDIO
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NEWPORT, RI 02840

HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

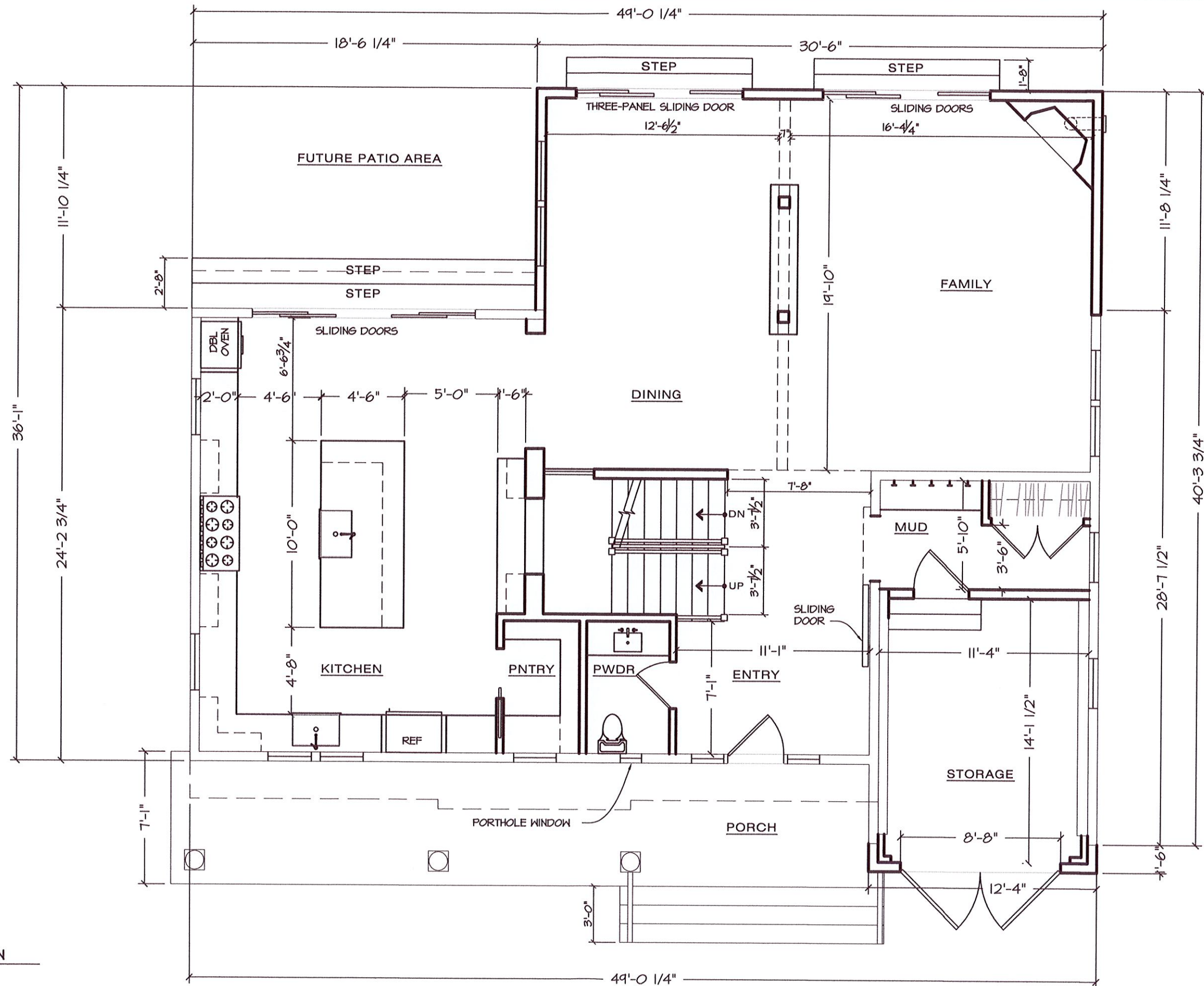
1.22.21

DESCRIPTION:

FIRST FLOOR
PLAN

DRAWING #

A1.1



1 FIRST FLOOR PLAN
3/16" = 1'-0"



SPRING STREET
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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

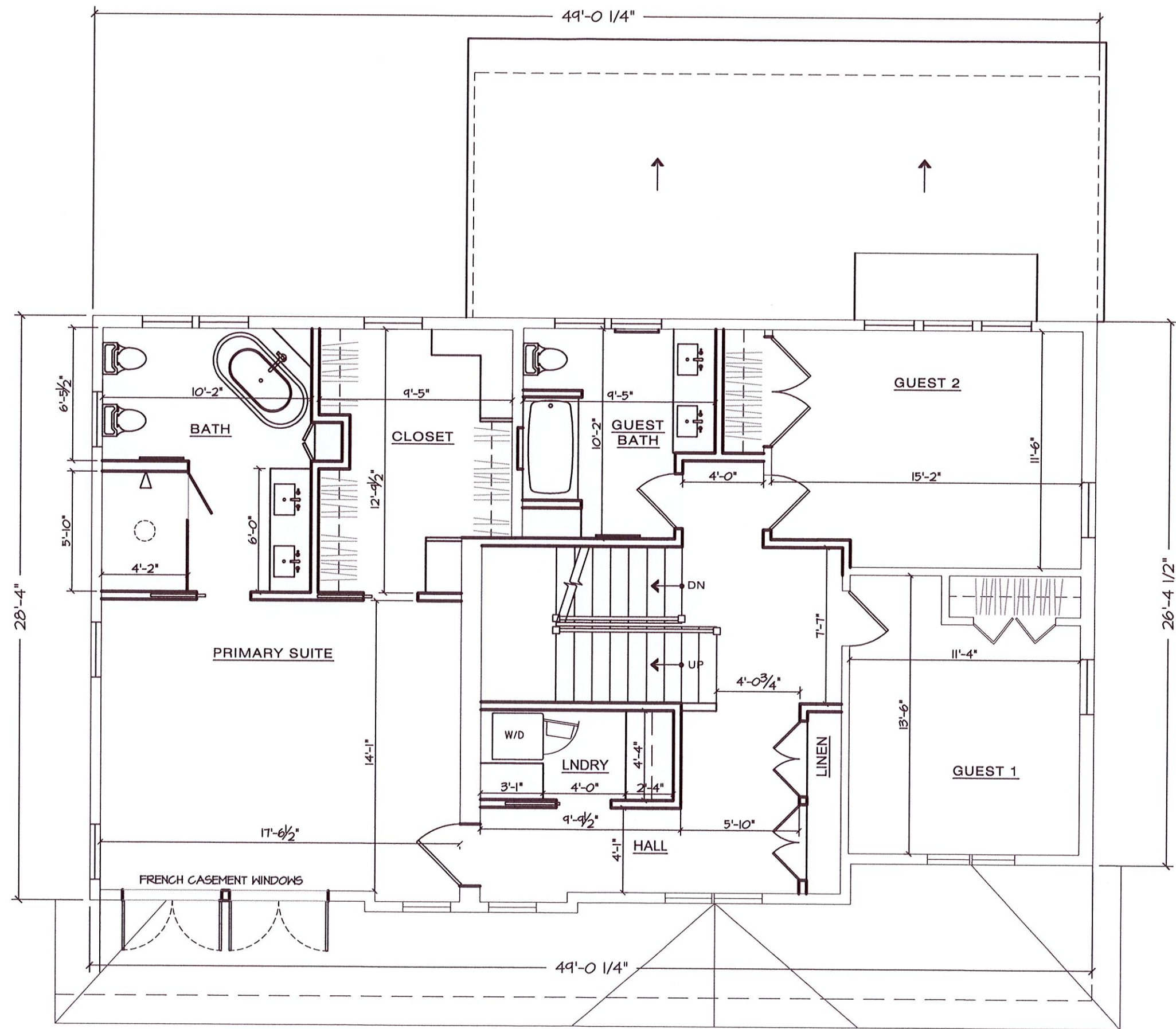
STATUS:
FOR ZONING
APPROVAL

DATE:
1.22.21

DESCRIPTION:
SECOND
FLOOR PLAN

DRAWING #

A1.2



1 SECOND FLOOR PLAN
3/16" = 1'-0"



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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

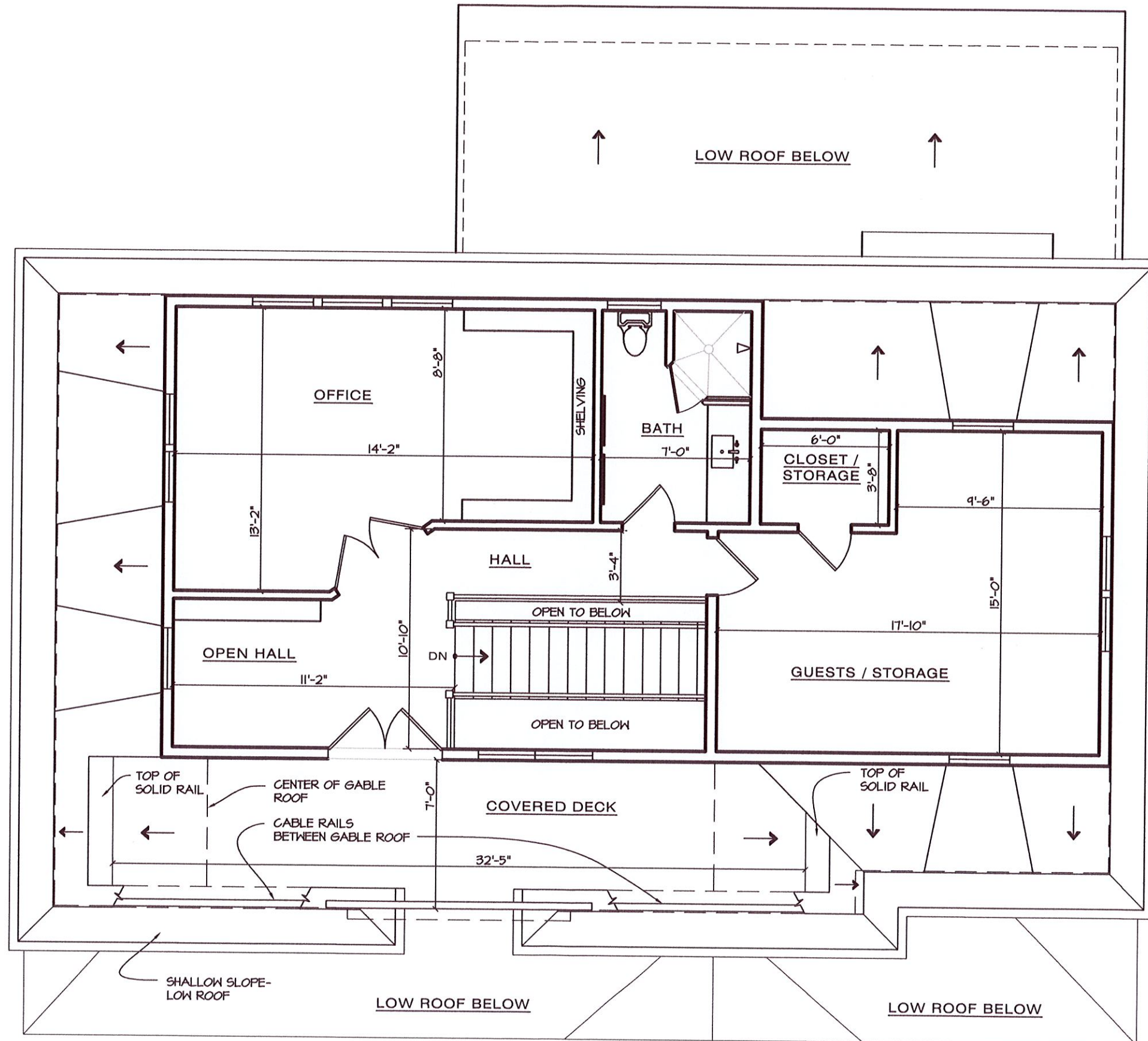
1.22.21

DESCRIPTION:

THIRD FLOOR
PLAN

DRAWING #

A1.3



1 THIRD FLOOR PLAN
3/16" = 1'-0"



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18 CLIFF AVE, NEWPORT RI

REVISIONS:

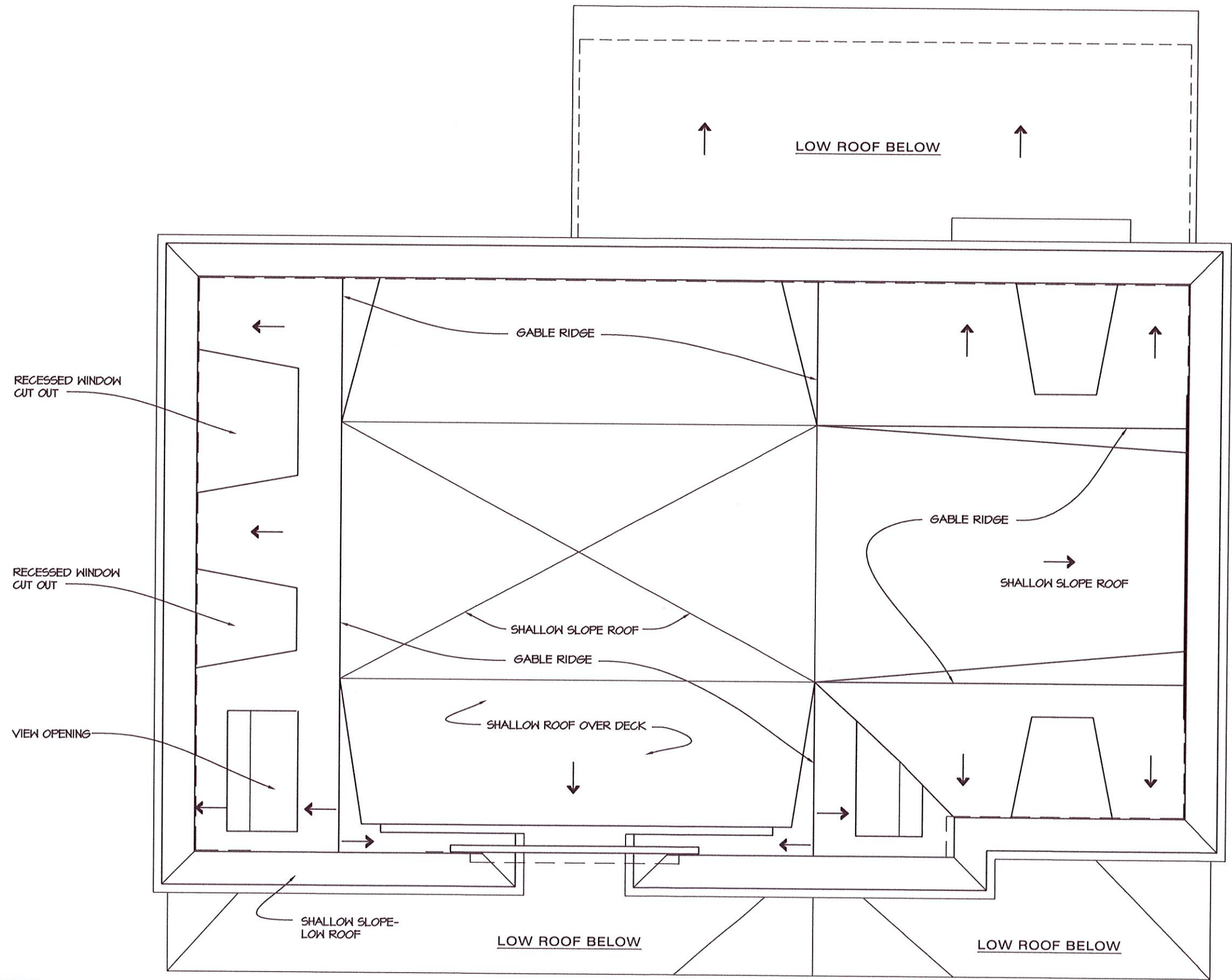
STATUS:
FOR ZONING
APPROVAL

DATE:
1.22.21

DESCRIPTION:
ROOF PLAN

DRAWING #

A1.4



1 ROOF PLAN
3/16" = 1'-0"



SPRING STREET
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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

1.22.21

DESCRIPTION:

EAST
ELEVATION

DRAWING #

A2.0

ROOF OVER DECK (DEPTH OF
COVER TO BE DETERMINED)

MAX ROOF HEIGHT
EL: 30' ABOVE AVERAGE GRADE

SHINGLED WALL AT THE SAME
WALL PLANE AS SLIDING DOOR

OPEN CABLE RAILINGS

T.O. 3RD FINISH FLR
REF EL: 17'-6 1/2"

EXISTING PORCH ROOF

T.O. 2ND FINISH FLR
REF EL: 9'-3/4"

T.O. 1ST FINISH FLR
REF EL: 0'-0"

EXISTING AVERAGE GRADE

2'-3"

T.O. BASEMENT SLAB
REF EL: -7'-6"

1 EAST ELEVATION (FRONT)
3/16" = 1'-0"



SPRING STREET
STUDIO
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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

1.22.21

DESCRIPTION:

SOUTH
ELEVATION

DRAWING #

A2.1



1 SOUTH ELEVATION
3/16" = 1'-0"



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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

1.22.21

DESCRIPTION:

WEST
ELEVATION

DRAWING #

A2.2

T.O. 3RD FINISH FLR
REF EL: 17'-6 1/2"

T.O. 2ND FINISH FLR
REF EL: 9'-3/4"

T.O. 1ST FINISH FLR
REF EL: 0'-0"

T.O. BASEMENT SLAB
REF EL: -7'-6"

1 WEST ELEVATION
3/16" = 1'-0"





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HEIDEN RESIDENCE

18 CLIFF AVE, NEWPORT RI

REVISIONS:

STATUS:

FOR ZONING
APPROVAL

DATE:

1.22.21

DESCRIPTION:

NORTH
ELEVATION

DRAWING #

A2.3

