



NEWPORT HISTORIC DISTRICT COMMISSION

DEPARTMENT OF ZONING & INSPECTIONS
43 Broadway, Newport, Rhode Island 02840
401.846.9600 (City Hall) 401.845.5357 (Preservation)

Received by the Zoning and Inspections Department

JAN 13 2021

Check # 153002560

HDC
FEB. 13

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Please complete this application in BLACK or BLUE ink only.
Illegible/incomplete applications will be returned to the applicant.
Hearing Dates and Filing Deadlines are posted at City Hall and www.cityofnewport.com.

GENERAL INFORMATION

PROPERTY ADDRESS: 11 Sunshine Crt. Newport RI 02840	Plat: 12	Lot: 214
Property Name (if any, including historic): N/A	Original Date of Construction: 1900	
APPLICANT (Legal Owner of Record): 11 Sunshine Ct. LLC (Troy Robinson/Member, Dwayne Pina/Member)	Telephone: (401) 255-3482 Email: Dwayne_pina@st.georges.edu	
Mailing Address: 188 Kane Ave. Middletown RI, 02842		
LEGALLY AUTHORIZED REPRESENTATIVE:	Telephone: Email:	
Mailing Address:		

ADDITIONAL INFORMATION CHECKLIST

- ☒ Y ☐ N Is the application fee included? (See attached General Fee Schedule)
- ☒ Y ☐ N Is the property in condominium ownership? If yes, proof of board or association approval must be attached.
- ☒ Y ☐ N Is this application filed in response to a violation notice?
- ☒ Y ☐ N Is this application a modification of plans previously-approved (date(s) _____) by the HDC?
- ☒ Y ☐ N Does this project require other approvals? Zoning _____ CRMC _____ Other (describe): _____
- ☒ Y ☐ N Does access to the subject property require special arrangements? _____

SUMMARY OF PROPOSED WORK

Describe all proposed exterior alterations to the subject property here.

Do not leave this section blank.

Check off all applicable categories below.

-Proposing removal of chimney because of proposed interior renovation

-Remove and relocate rear exterior stairs and back door

-Repair front porch and recess front stairs into the front porch to all for a more useful side yard.

-Repair/replace and bring railing to code (proper height)

-Repair framing and foundation systems

-Replace all current windows with high energy performance windows (wood frames)

- Y

N

Repair/replacement of exterior architectural features?

Y

N

Minor Alteration(s) – Any alteration(s) that replace existing building features or any new construction of less than 25% of the existing structure's square footage?

Y

N

Major Alteration(s) – Any addition(s) of more than 25% of an existing structure's square footage or any new freestanding structure(s)?

Y

N

New Construction?

Y

N

Demolition?

Y

N

Roof(s) or skylight(s)?

Y

N

Window(s) or door(s)?

Y

N

Porches or Entries?

Y

N

Chimney(s)?

Y

N

Foundation?

Y

N

Mechanical and/or electrical equipment?

Y

N

Shutters or awnings?

Y

N

Sign(s)?

Y

N

Pools and/or site structures?

Y

N

Other? Describe: _____

REQUIRED APPLICATION MATERIALS

PLEASE READ CAREFULLY TO CONFIRM THAT ALL REQUIRED MATERIALS
ARE INCLUDED IN COMPLETED APPLICATION PACKET.

All HDC application materials must be submitted on 8.5x11 or 11x17 paper, single-sided, to facilitate
electronic scanning, posting and archiving.

10 COPIES OF EACH APPLICATION ARE REQUIRED.
1 DIGITAL COPY OF ALL MATERIALS SHOULD BE SUBMITTED TO
PRESERVATIONCOA@CITYOFNEWPORT.COM

☒ ☐ COMPLETED APPLICATION FORM AND 10 COPIES OF EACH REQUIRED MATERIAL
(PHOTOGRAPHS, DRAWINGS AND MATERIALS/PRODUCT LITERATURE/SAMPLES)
INCLUDED?

☒ ☐ PHOTOGRAPHS?

Ten (10) color copies of color photographs (4" x 6" or larger) clearly depicting current existing conditions
at the property are required for all applications. Include a minimum of one (1) street view of the property showing
any portions of the building(s) that are visible and a minimum of one (1) photograph of each elevation that will be affected
by the proposed work. Photographs must be submitted on 8.5x11 or 11x17 paper. Prints are not accepted.
Date and legal address of subject property should be indicated on all photographs. Including historic views of the subject
property is encouraged.

☒ ☐ DRAWINGS?

If drawings are required, one (1) original drawn scale set should be submitted along with ten (10) copies of
the original, reduced to fit on 8.5x11 or 11x17 paper. Drawings must include date, scale, cardinal points (N, S, E and
W) and proposed materials. If the application proposes modifications to a plans previously approved by the HDC, an
11x17 copy of the previously-approved drawings must be included along with new drawings depicting proposed
modifications. Please note that applications for any major construction require drawings that meet professional standards.

Elevation drawings are required for most projects and should show existing conditions and proposed alterations at all
elevations that will be affected by proposed work. (1/4" = 1' scale or larger for most residential-scale projects)

Elevation detail and cross section drawings are required for proposed projects (including new construction and major
alteration) that involve new or altered windows, doors, dormers, porches, trim elements and other new or altered
architectural features. (3/4" = 1' scale or larger)

Full scale details are required for certain proposed new architectural elements (moldings and other trim elements, for
example.)

Site plan is required for any alteration to existing building footprints, including proposed free-standing construction or
additions to existing buildings as well as for the addition of at-grade mechanical equipment. (1"=20' scale or larger)

Perspective drawings (or some other form of perspective depiction, such as photomontage) may be required
for proposed new free-standing construction or substantial alteration of existing buildings or sites.

☒ ☐ MATERIALS/PRODUCT LITERATURE/SAMPLES?

Ten (10) copies of product literature and/or manufacturer specification sheets for stock items should also be submitted.
Material samples are requested on a case-by-case basis, but are generally required for any proposed new construction or
substantial alteration of existing buildings.

SIGNATURE

I certify that (i) I am the Legal Owner of Record or legally authorized to sign on behalf of the property's Legal Owner
of Record and (ii) all of the information provided in and with this application is true and accurate to the best of my
knowledge.

Applicant Signature: _____

Date: 1/11/2021

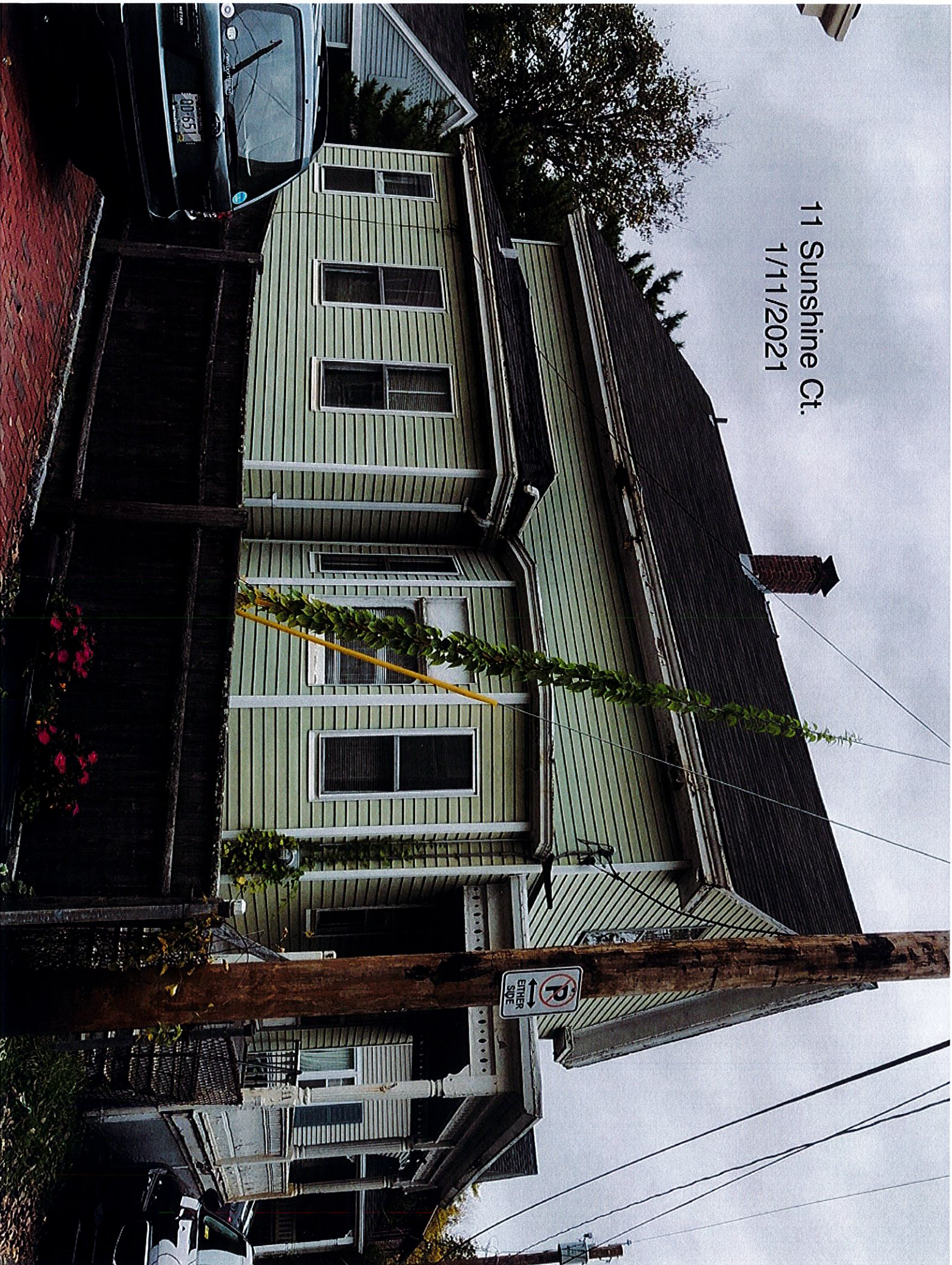
Applicant Printed Name: _____

DWAYNE PINA



11 Sunshine Ct
1/11/2021

11 Sunshine Ct.
1/11/2021

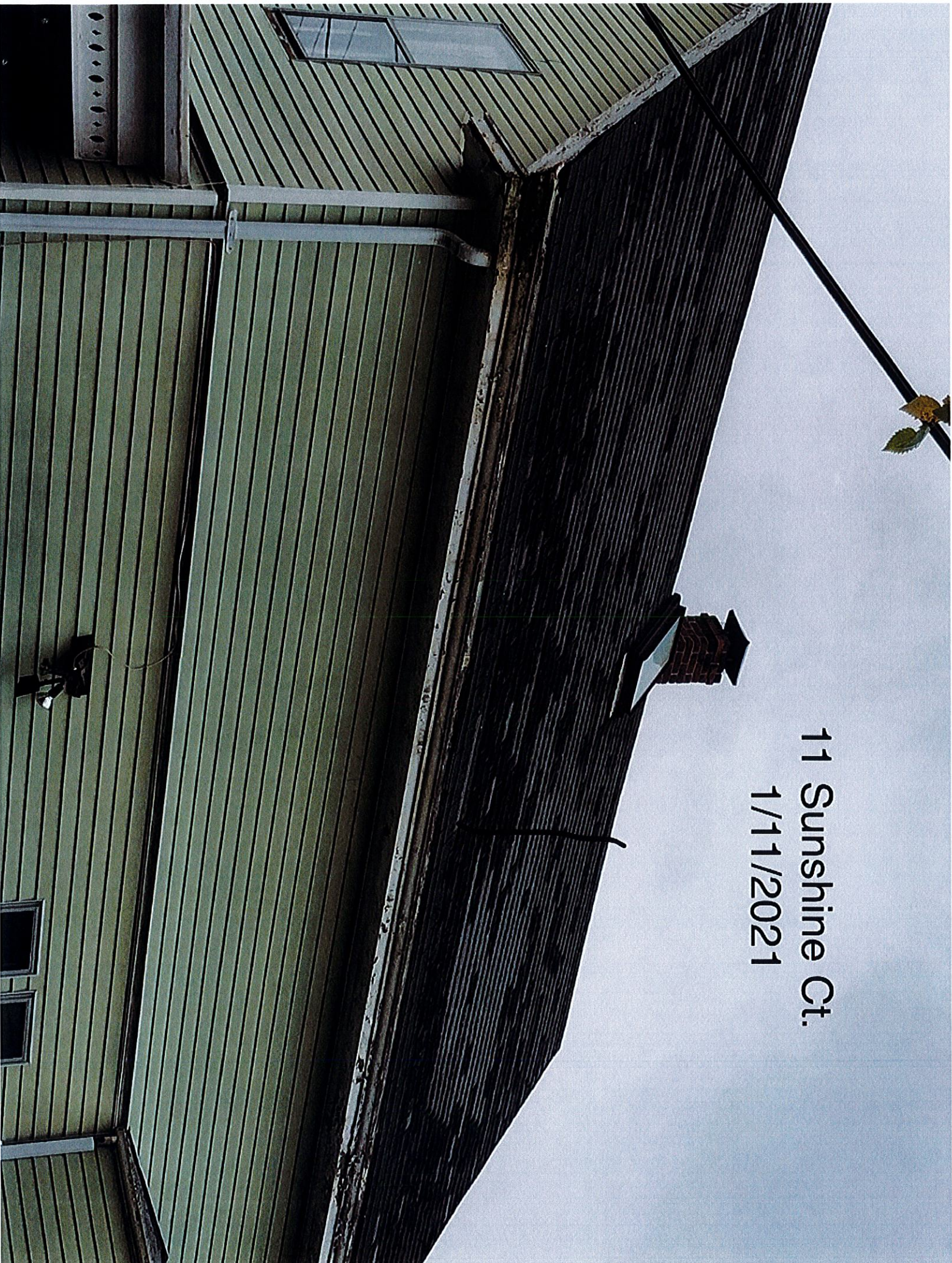








11 Sunshine Ct
1/11/2021

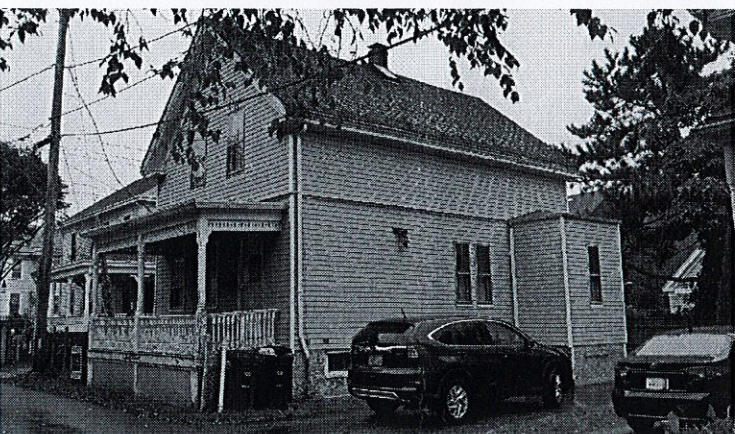


11 Sunshine Ct.
1/11/2021

11 Sunshine Ct.
1/11/2021



PROPOSED RENOVATION
for:
11 SUNSHINE CT
NEWPORT, RI



FRAMING LUMBER

- 1) ALL FRAMING LUMBER SHALL BE KILN DRIED 19% MAXIMUM MOISTURE CONTENT. LUMBER SHALL MEET AS A MINIMUM DESIGN VALUES FOR "SPRUCE-PINE-FIR" AS PER MASSACHUSETTS STATE BUILDING CODE.
- 2) ALL FASTENING OF FRAMING, PLATES, SILLS, SHEATHING AND OTHER WOOD MEMBERS SHALL BE IN ACCORDANCE WITH THE DETAILS SHOWN AND MINIMUM REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE.
- 3) CONNECTORS SHOWN ARE AS MANUFACTURED BY SIMPSON STRONG-TIE CO. INC. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY AN ENGINEER. INSTALLATION OF ALL CONNECTORS SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND MUST EMPLOY ALL REQUIRED FASTENERS.
- 4) ALL CONNECTORS SHALL BE HOT DIP GALVANIZED.
- 5) INSTALL ALL CONNECTOR FASTENERS BEFORE LOADING THE JOINT.
- 6) SPLIT WOOD IS NOT ACCEPTABLE FOR ANY CONNECTIONS.
- 7) ALL EXPOSED FRAMING MEMBERS SHALL BE TREATED AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE.
- 8) ALL MANUFACTURED LVL WOOD FRAMING COMPONENTS SHALL HAVE THE PHYSICAL PROPERTIES AS REQUIRED BY THE MASSACHUSETTS STATE BUILDING CODE.
- 9) TJI FLOOR JOIST SHALL BE AS MANUFACTURED BY TRUSS JOIST MacMILLAN AND AS SIZED ON THE DRAWINGS. ALL FASTENING, BEARING, AND STIFFENING SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.
- 10) ALL PLYWOOD SHALL BE APA PERFORMANCE RATED PANELS CONFORMING TO THE REQUIREMENTS AND COMPLIANCE WITH THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE.

NOTE:

THIS IS A SCHEMATIC FRAMING PLAN CREATED BY THE DESIGNER TO AID THE BUILDER. G.C. SHALL VERIFY ALL FRAMING MEMBERS AND BUILDING CODE FOR EXACT SIZE AND SPACING. G.C. SHALL VERIFY SIZES, HEIGHTS, AND WIDTHS WITH THE BUILDING CODE AND OR BUILDING INSPECTOR PRIOR TO CONSTRUCTION FOR FULL COMPLIANCE.

SURVEY NOTE:

PLANS WERE PRODUCED WITH A LIMITED SURVEY. ALL DIMENSIONS AND EXISTING ASSEMBLIES ARE TO BE VERIFIED POST DEMOLITION BY GENERAL CONTRACTOR GENERAL CONTRACTOR TO NOTIFY DESIGNER OF ALL DISCREPANCIES PRIOR TO CONSTRUCTION TO INSURE PROPER INSTALLATION OF ALL NEW EQUIPMENT.

DRAWING LIST:

- A 01 COVER SHEET
- A 02 GENERAL NOTES
- A 03 DECK NOTES & DETAILS
- A 04 DECK DETAILS
- EX 21 EXISTING CONDITIONS BASEMENT & FIRST FLOOR PLAN
- EX 22 EXISTING CONDITIONS SECOND FLOOR PLAN
- EX 31 EXISTING CONDITIONS ELEVATIONS
- A 12 PROPOSED DECK FOUNDATION PLAN, GENERAL FOUNDATION NOTES & DETAILS
- A 21 PROPOSED FIRST & SECOND FLOOR PLAN
- A 31 EXISTING & PROPOSED FRONT ELEVATIONS
- A 41 PROPOSED FRAMING PLANS & CROSS SECTIONS

SCOPE OF WORK:

PROPOSED REPAIR/RENOVATION OF EXISTING SINGLE FAMILY DWELLING UNIT, INSTALL NEW ELECTRICAL, PLUMBING, AND HEATING SYSTEMS AS REQUIRED AND REPAIR/INSTALL NEW GYPSUM BOARD AND INSULATION AS REQUIRED. REPAIR/RECONSTRUCT REAR DECK AND RESTORE FRONT PORCH.

DESIGN CRITERIA:

STATE OF RHODE ISLAND BUILDING CODE, CURRENT EDITION

INSTRUMENTS OF SERVICES

OWNERSHIP AND USE OF DOCUMENTS, DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF THE DESIGNER. THESE DOCUMENTS ARE NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES OR BY ANY OTHER PARTIES THAN THOSE PROPERLY AUTHORIZED BY CONTRACT WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE DESIGNER.

Notes:
All dimensions, designs, arrangements, drawings and specifications are shown by, and the property of, Comprehensive Design/Build Services, LLC. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than the specified project for which they have been prepared and developed, without the express knowledge and written consent of Comprehensive Design/Build Services. Comprehensive Design/Build Services shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractors, nor for the safety of public or contractor's employees; or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services liability for this plan is limited to the extent of its fee less third party costs.

PROPOSED RENOVATION

Approved as Noted
by _____
Date _____

COMPREHENSIVE DESIGN/BUILD SERVICES, LLC
a Division of Integrated House Wrights, LLC
P.O. BOX 578 WEST WARDHAM, MA 02578-0578
T/F: 508.291.1061
email: amon@comdbdesign.com

No.	Date	Revision
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

Cover Sheet
Drawing No. A0.1
Date 10.15.2020
Scale AS SHOWN
Drawn amp
Checked
Approved
Sheet of 89

Project: PROPOSED RENOVATION
At: 11 SUNSHINE CT
NEWPORT, RI

GENERAL NOTES:

- SCOPE: WORK TO INCLUDE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. EACH CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR A COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT THE WORK OF OTHER CONTRACTORS AND ARE RESPONSIBLE FOR AND LIABLE TO REPAIR OR REPLACE ANY DAMAGE CAUSED BY THEIR WORK.
 - CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND DESIGNER AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE OR REGULATION.
 - THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
 - QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE, AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATIONS AND APPLICATIONS SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS.
 - COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND MECHANICAL TRADES WHETHER THEY RECEIVE THEIR CONTRACT FROM THE CONTRACTOR OR THE OWNER. THE CONTRACTOR'S INSTRUCTIONS SHALL BE FOLLOWED BY ALL TRADES.
 - MECHANICAL TRADES: THE MECHANICAL AND ELECTRICAL TRADES SHALL INSTALL THEIR WORK AS RAPIDLY AS THE OTHER WORK PERMITS, AND SHALL COMPLETE THIS WORK BY THE TIME THE OTHER TRADES HAVE FINISHED.
 - EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LIMITATIONS WHICH EFFECT THE CONTRACT. HE SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS, TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE, AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
 - SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
 - GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR A LONGER PERIOD OF TIME ON CERTAIN ITEMS.
 - TRASH REMOVAL: EACH CONTRACTOR SHALL PROVIDE FOR TRASH REMOVAL. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR ITS REMOVAL AND BACK CHARGE THE CONTRACTOR.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
 - DESIGN LIVE LOADS: ROOF 35#/SQ. FT.; FIRST FLOOR 40#/SQ. FT.; SECOND FLOOR 30 #/SQ.FT..
 - HEATING, PLUMBING, AIR CONDITIONING AND ELECTRICAL ARE PART OF THIS CONTRACT. THE CONTRACTOR SHALL COORDINATE THE LOCATION AND SIZE OF OPENINGS FOR VENTS, PIPES, DUCTS, INSERTS, BOXES, HANGERS ETC.
 - ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL OTHER SIMILAR LOCATIONS UNLESS OTHERWISE NOTED.
 - SOIL BEARING CAPACITY SHALL BE VERIFIED BY THE CONTRACTOR; FOUNDATION AND FOOTING DESIGN SHALL BE MODIFIED AS REQUIRED TO COMPLY WITH LOCAL AND STATE CODES REGARDING LOCAL SOIL CONDITIONS. (VERIFY SOILS PRIOR TO INSTALLATION OF FOOTINGS).
 - THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE, OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION, OR REVIEW OF ANY SYSTEM OR METHOD BY THE DESIGNER SHALL RELIEVE THE CONTRACTOR OF THIS RESPONSIBILITY.
 - IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES, DEVICES, NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
 - IT IS THE OWNERS RESPONSIBILITY TO SELECT ALL FINISHES: I.E.; PAINT/STAIN, VINYL WALL COVERING, FLOOR MATERIAL, MOLDINGS, AND ELECTRICAL RECEPTACLES, ETC.. IT IS THE CONTRACTORS RESPONSIBILITY TO PURCHASE AND INSTALL ALL ITEMS AS THE OWNER SELECTS THEM.
 - BASEMENT PORTION OF THE PREMISES SHALL BE DRY. THIS CONDITION IS TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - GENERAL CONTRACTOR TO PROVIDE WORKMAN'S COMP. INSURANCE CERTIFICATE, BUILDERS RISK INSURANCE TO COVER COMPLETED VALUE OF PROJECT, INSURANCE TO BE REVIEWED WITH OWNER PRIOR TO SUBMITTING BID.
 - RECOMMENDED CONTRACT: CONSTRUCTION CONTRACT DOCUMENT SHALL BE "AIA - A101 OWNER - CONTRACTOR AGREEMENT FORM - STIPULATED SUM DATED (97)".
- DOORS:
- ALL EXTERIOR DOORS ARE TO BE AS MANUFACTURED BY TYPE "X" OR EQUAL. SPECIFIC TYPES ARE AS INDICATED ON PLANS. FINAL SELECTION BY OWNER.
 - FRENCHWOOD GLIDING PATIO DOORS AS MANUFACTURED BY TYPE "X". (SEE PLANS FOR LOCATION) VERIFY IF LOW "E" GLASS IS REQUIRED, TO INCLUDE SCREENS. COLOR OF PERMASHIELD TO BE SAND. FINAL SELECTION BY OWNER.
 - INTERIOR DOORS TO BE PREMOLDED - 6 PANEL DOORS. FINAL SELECTION BY OWNER.

WINDOWS:

- ALL WINDOWS TO BE AS MANUFACTURED BY TYPE "X". WINDOWS TO BE PERMASHIELD, HIGH PERFORMANCE, WITH SCREENS, VERIFY IF LOW "E" GLASS IS REQUIRED, COLOR OF PERMASHIELD TO BE SAND. FINAL SELECTION BY OWNER.

EXTERIOR:

- DWELLING EXTERIOR SHALL BE WITH EIFS FINISH SYSTEM. AS MANUFACTURED BY TYPE "X".
- NOT USED.
- CONTRACTOR TO FURNISH AND INSTALL WATER AND ICE SHIELD UNDER ROOF SHINGLES AT ALL EAVES, VALLEYS, ETC..
- TYPE "X" ROOF SHINGLES - 30 YEAR WARRANTY, AS MANUFACTURED BY TYPE "X" OR EQUAL, TO BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS. OWNER TO SELECT COLOR.
- CONTRACTOR TO PROVIDE AND INSTALL A VENTED METAL DRIP EDGE OR SCREENED SOFFIT VENT AT ALL EYES.
- EXTERIOR COLUMNS: SIMILAR TO 8 X 8 COLUMNS AS MANUFACTURED BY TYPE "X" WITH BASES AND CAPITALS, COLUMNS TO BE STRUCTURAL.
- BUILT-IN IRONING BOARD AS MANUFACTURED BY TYPE "X".
- PAINTING AND/OR STAINING, TO BE BY GENERAL CONTRACTOR, OWNER TO SELECT COLORS. PAINT AS MANUFACTURED BY TYPE "X"; STAIN AS MANUFACTURED BY TYPE "X".
- CONTRACTOR TO FURNISH AND INSTALL LOUVER SHUTTERS, CONTRACTOR TO PROVIDE SAMPLES TO OWNER FOR APPROVAL, OWNER TO SELECT STYLE AND FINISHES.
- CHIMNEY: CONTRACTOR TO REVIEW BRICK/MASONRY DESIGN OF CHIMNEY WITH OWNER, PRIOR TO SUBMITTING BID.
- DECKING FOR VERANDA TO BE 5/4 X 4 TYPE "X".
- DECKING FOR DECKS TO BE 5/4 X 5 PRESSURE TREATED.

INTERIOR:

- ALL INTERIOR WOOD TRIM, I.E.; MOLDINGS, CHAIR-RAIL, CORNER BLOCKS, PLINTH BLOCKS, DOORS TRIM, CASINGS ETC. TO BE AS MANUFACTURED BY TYPE "X". CONTRACTOR TO PROVIDE SAMPLES TO OWNER FOR APPROVAL. ALL TO BE CLEAR, STAIN GRADE.
- BASEBOARDS THROUGHOUT TO BE 1X8 CLEAR, STAIN GRADE WITH APPLIED MOULDING.
- CONTRACTOR TO PROVIDE FOR WIDE WINDOW SILLS AT ALL WINDOWS.
- CONTRACTOR SHALL PROVIDE CROWN MOULDINGS IS SELECTED ROOMS, TO BE REVIEWED WITH OWNER.
- DOOR MOULDING @ BASE TO BE ABOVE PLINTH BLOCKS, TYPICAL THROUGHOUT.
- CONTRACTOR TO REVIEW WITH OWNER EACH CLOSET INTERIOR AS TO SHELVING/RODS/DRAWERS/ETC..
- ALL INTERIOR WALLS ARE TO RECEIVE A PLASTER SKIM COAT APPLIED TO ACHIEVE A SMOOTH, CONSISTENT FINISH.
- ALL CEILINGS ARE TO RECEIVE A FINISH, OWNER TO SELECT TEXTURE.
- CONTRACTOR TO FURNISH AND INSTALL A CENTRAL VACUUM CLEANING SYSTEM AS MANUFACTURED BY TYPE "X", OR APPROVED EQUAL, TO BE REVIEWED AND APPROVED BY OWNER.
- ALL SUBFLOORING IS TO BE LEVEL, WITH FLUSH JOINTS AND PREPPED TO RECEIVE FINISH FLOORING, AS INDICATED ON PLANS AND AS SELECTED BY OWNER.
- INTERIOR FINISHES I.E.: PAINTING AND/OR STAINING, TO BE BY GENERAL CONTRACTOR, OWNER TO SELECT COLORS.
- CONTRACTOR SHALL CARRY AN ALLOWANCE IN THE BID FOR THE FOLLOWING ITEMS: KITCHEN CABINETS/COUNTERS, BATHROOM VANITIES/COUNTER TOPS/CABINETS, BUILT-IN FOR MASTER BEDROOM, CABINETS/COUNTERS IN PANTRY, BUILT-INS @ FIREPLACE IN FAMILY ROOM, OWNER TO SELECT COLOR/DESIGN.
- CERAMIC TILE: OWNER TO SELECT CERAMIC TILE FOR; FLOOR, BASE, WALLS, ALL TO BE FURNISHED AND INSTALLED BY CONTRACTOR.
- CARPETING: FURNISHED AND INSTALLED BY OWNER.
- GLASS SHOWER ENCLOSURE TO BE REVIEWED/SELECTED BY OWNER
- STAIR RAILS, BALUSTERS, ETC. TO BE AS MANUFACTURED BY TYPE "X", CONTRACTOR TO PROVIDE SAMPLES TO OWNER FOR APPROVAL, OWNER TO SELECT STYLE AND FINISHES.
- HARDWARE: I.E.; LOCKSETS, PASSAGE SETS TO BE AS MANUFACTURED BY SCHLAGE.
- CONTRACTOR TO PROVIDE DUROCK OR WONDERBOARD AT ALL TUB, SHOWER WALLS.
- ALL APPLIANCES ARE FURNISHED BY OWNER, WIRED AND INSTALLED BY CONTRACTOR.
- FIREPLACE/MANTLE: CONTRACTOR TO REVIEW: BRICK OR MARBLE OR STONE FINISH AND SELECTION OF FIREPLACE MANTLE DESIGN WITH OWNER.

HEATING:

- THERMOSTAT LOCATION TO BE COORDINATED WITH A/C CONTRACTOR & OWNER.
- CONTRACTOR TO FURNISH AND INSTALL TOE SPACE HEATER: UNDER MASTER BATHROOM VANITY, KITCHEN CABINETS, PANTRY CABINET, SECOND FLOOR BATHROOMS FOR HEAT. CONTRACTOR TO COORDINATE WITH PLUMBING CONTRACTOR, AS TO PROVIDING ADEQUATE HEAT FOR THESE ROOMS.
- HEATING SYSTEM WILL FORCED HOT WATER VIA FIN TUBE RADIATION, BY GAS, CONTRACTOR TO SIZE BOILER AND COORDINATE ZONING WITH OWNER.

AIR CONDITIONING/VENTILATION:

- CONTRACTOR TO PROVIDE AND INSTALL CENTRAL AIR CONDITIONING SYSTEM FOR THE FIRST FLOOR.
- CONTRACTOR TO INSTALL DUCTWORK FOR FUTURE CENTRAL AIR CONDITIONING SYSTEM FOR THE SECOND FLOOR.
- CONTRACTOR TO FURNISH AND INSTALL EXHAUST FANS FOR EACH BATHROOM AND LAV, AS MANUFACTURED BY NUTONE, BROAN OR APPROVED EQUAL.

ELECTRICAL:

- CONTRACTOR TO PROVIDE 200 AMP ELECTRICAL SERVICE.
- CONTRACTOR SHALL FURNISH AND INSTALL WIRING FOR TELEPHONE JACKS AND CABLE TV OUTLETS, LOCATIONS TO BE SELECTED BY OWNER.
- CONTRACTOR TO PROVIDE AND INSTALL SMOKE DETECTORS AS REQUIRED BY CODE.
- CONTRACTOR TO COORDINATE WITH OWNER FOR INSTALLATION OF OWNERS SECURITY ALARM SYSTEM.
- OWNER TO SELECT TYPE AND COLOR OF ALL ELECTRICAL RECEPTACLES AND SWITCHES, DESIGNER SERIES, AS MANUFACTURED, BY LUTRON.
- ALL RECESSED DOWNLIGHTS TO BE AS MANUFACTURED BY LIGHTOLIER, PROGRESS, OR EQUAL.
- CONTRACTOR TO FURNISH AND INSTALL SURFACE MOUNTED, BARE BULB FLOURSCENT LIGHT FIXTURES IN BASEMENT (UNFINISHED AREAS), MECHANICAL ROOM AND GARAGE, REVIEW LOCATION OF FIXTURE AND SWITCHING WITH OWNER.
- LIGHTING FIXTURE LAYOUT ON PLANS ARE SUGGESTED, REVIEW ALL LIGHTING WITH OWNER PRIOR TO ROUGH-IN.
- CONTRACTOR TO FURNISH AND INSTALL SURFACE MOUNTED, 18" BARE BULB FLOURSCENT LIGHT FIXTURES IN SELECTED CLOSETS, SEE PLAN.
- ALL RECEPTACLES, LIGHTING, SWITCHES, ETC. TO BE REVIEWED WITH OWNER PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE 3 WATERPROOF OUTLETS AT EACH DECK LEVEL AND 4 WATERPROOF OUTLETS AT VERANDA.
- ELECTRICAL RECEPTACLES AS PER CODE.

PLUMBING:

- ALL PLUMBING FIXTURES TO BE AS MANUFACTURED BY TYPE "X", COLOR, TO BE REVIEWED, SELECTED AND APPROVED BY OWNER, PRIOR TO SIGNING OF CONTRACT.
- ALL FAUCETS, TRIM, ACCESSORIES, ETC. AS MANUFACTURED BY TYPE "X", TO BE REVIEWED, SELECTED AND APPROVED BY OWNER, PRIOR TO SIGNING OF CONTRACT.

THESE NOTES ARE A GENERIC SET OF GUIDE LINES WHICH HAVE BEEN ASSEMBLED FOR USE ON THIS PROJECT. THEY HAVE BEEN ASSEMBLED TO HELP BOTH THE OWNER AND THE BUILDER. IT IS POSSIBLE THAT NOT ALL PORTIONS BE USED, USE AND REFER TO ONLY THOSE PORTIONS THAT PERTAIN TO THIS PROJECT.

Notes: designs, arrangements, drawings and specifications are the property of this office and are to be used only for the project and location specified hereon. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than the specified project for which they have been prepared and developed, without the express knowledge and written consent of Comprehensive Design/Build Services. Comprehensive Design/Build Services shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractors, nor for the safety of public or contractor's employees; or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services liability for this plan is limited to the extent of its fee less third party costs.

Notes: designs, arrangements, drawings and specifications are the property of this office and are to be used only for the project and location specified hereon. No part thereof shall be copied, disclosed to others, or used in connection with any work or project, other than the specified project for which they have been prepared and developed, without the express knowledge and written consent of Comprehensive Design/Build Services. Comprehensive Design/Build Services shall not be responsible for construction means, methods, techniques, or procedures utilized by the contractors, nor for the safety of public or contractor's employees; or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services liability for this plan is limited to the extent of its fee less third party costs.

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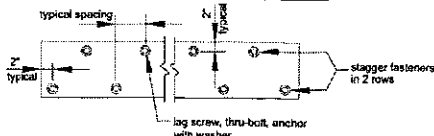
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Placement of lag screws or bolts in deck ledgers. The lag screws or bolts shall be placed two inches from the bottom or top of the deck ledgers and between two and five inches from the ends. The lag screws or bolts shall be staggered from the top to the bottom along the horizontal run of the deck ledger (see Figure 19). Proper installation of lag screws or bolts shall be verified by the building official.

Figure 18: Ledger Board Fastener Spacing and Clearances



Thru-Bolts

Thru-bolts shall have a minimum diameter of 1/2". Pilot holes for thru-bolts shall be 1/16" to 1/8" in diameter. Thru-bolts require washers at the bolt head and nut.

diameter of 1/2". Minimum embedment length shall be per the manufacturer's recommendations. All anchors must have washers.

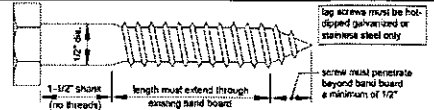
Expansion and Adhesive Anchors

Use approved expansion or adhesive anchors when attaching a ledger board to a concrete or solid masonry wall as shown in Figure 15 or a hollow masonry wall with a grouted cell as shown in Figure 16. Expansion and adhesive anchor bolts shall have a minimum

Lag Screws

Lag screws shall have a minimum diameter of 1/2" (see MINIMUM REQUIREMENTS). Lag screws may be used only when the field conditions conform to those shown in Figure 14. See Figure 20 for lag screw length and shank requirements. All lag screws shall be installed with washers.

Figure 20: Lag Screw Requirements



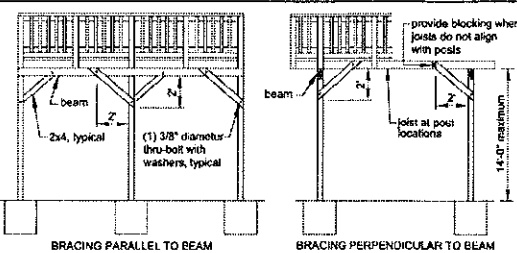
Lag screw installation requirements: Each lag screw shall have pilot holes drilled as follows: 1) Drill a 1/8" diameter hole in the ledger board, 2) Drill a 1/4" diameter hole into the band board of the existing house. DO NOT DRILL A 1/2" DIAMETER HOLE INTO THE BAND BOARD.

The threaded portion of the lag screw shall be inserted into the pilot hole by turning. DO NOT DRIVE LAG SCREWS WITH A HAMMER. Use soap or a wood-compatible lubricant as required to facilitate tightening. Each lag screw shall be thoroughly tightened (snug but not over-tightened to avoid wood damage).

DECK STABILITY

Decks greater than 2 feet above grade shall be provided with diagonal bracing or be attached to the exterior wall of the house.

Figure 22: Diagonal Bracing Requirements

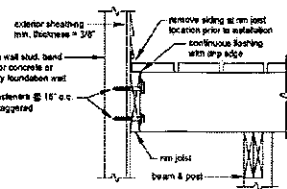


Diagonal Bracing: Provide diagonal bracing both parallel and perpendicular to the beam at each post as shown in Figure 22. When parallel to the beam, the bracing shall be bolted to the post at one end and beam at the other. When perpendicular to the beam, the bracing shall be bolted to the post at one end and a joist or blocking between joists at the other. When a joist does not align with the bracing location, provide blocking between the next adjacent joists.

wall must be sheathed with minimum 1/2" wood structural panel sheathing. Use lag screws or thru-bolts when fastening to an existing band joist or wall stud use expansion anchors or epoxy anchors when fastening to concrete or masonry. DO NOT ATTACH TO BRICK VENEERS. VERIFY THIS CONDITION IN THE FIELD PRIOR TO UTILIZING THIS METHOD. Fasteners shall be 16" on center and staggered in 2 rows. Flashing over the rim joist is required and must be installed in accordance with the flashing provisions in the LEDGER ATTACHMENT REQUIREMENTS.

Attachment to House: Attach the deck rim joist to the existing house exterior wall as shown in Figure 23. The

Figure 23: Attachment of Free-Standing Deck to House for Lateral Support



GUARD REQUIREMENTS (R312)

All decks greater than 30" above grade are required to have a guard as shown in Figure 24. If a guard is installed when one is not required, it must meet these requirements. Guard systems not meeting these requirements may be used when approved by the authority having jurisdiction.

Figure 24: Typical Guard Detail

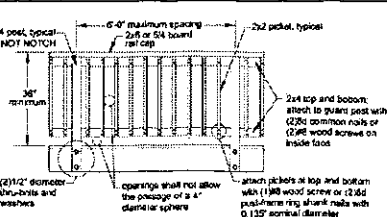


Figure 1A: Joist Span - Deck Attached at House

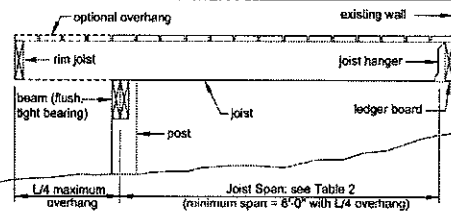
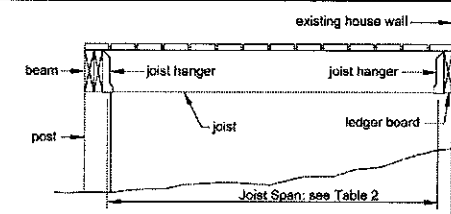


Figure 1B: Joist Span - Joists Attached to Side of Beam



DECK FRAMING PLAN

A framing plan shows the joist and beam layout, the location of the ledger board, posts, and footings, and the type, size, and spacing of the ledger board fasteners. See Figure 5 for an example of a typical deck framing plan.

Figure 3: Typical Deck Framing Plan

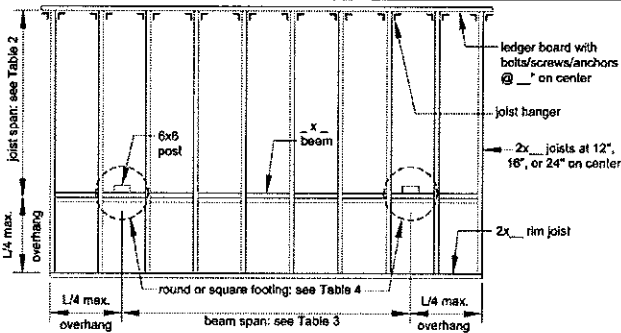


Figure 8: Post-to-Beam Attachment Requirements

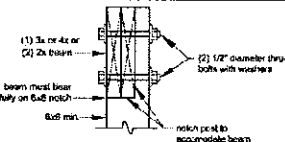
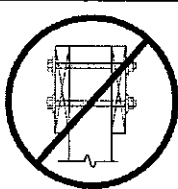


Figure 9: Prohibited Post-to-Beam Attachment Condition



RIM JOIST REQUIREMENTS

Attach a continuous rim joist to the ends of joists as shown in Figure 11. Attach decking to the rim joist as shown in Figure 11. For more decking attachment requirements, see DECKING REQUIREMENTS.

Figure 10: Alternate Approved Post-to-Beam Column Cap Attachment

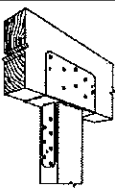
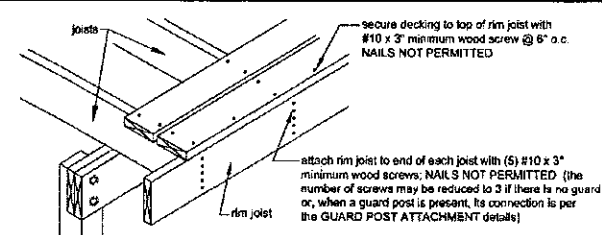


Figure 11: Rim Joist Connection Details



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PROPOSED RENOVATION

APPROVED as NOTED

Division of Comprehensive Design/Build Services, LLC
171 West Main Street, Suite 101
Newport, RI 02840
Phone: 401.251.1081
Email: cdbdesign@comcast.net

No.	Date	Revision
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Drawing Title	Deck Notes, and Details
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Approved: [Signature]	Sheet: 1 of 1

PROPOSED RENOVATION AT: 11 SUNSHINE CT NEWPORT, RI

Figure 30: Stair Guard Requirements

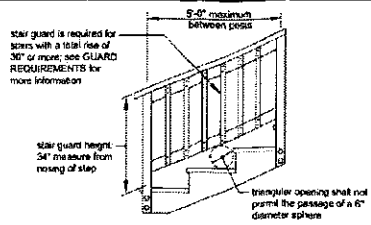
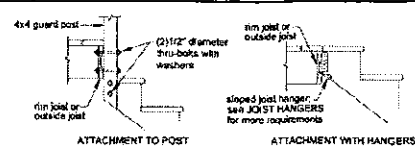


Figure 31: Stair Stringer Attachment Detail



STAIR HANDRAIL REQUIREMENTS

All stairs with 4 or more risers shall have a handrail on one side (see Figure 32). The handrail height measured vertically from the sloped plane adjoining the tread nosing shall be not less than 34 inches and not more than 38 inches (see Figure 30). Handrails shall be graspable and shall be composed of decay-resistant and/or corrosion-resistant material. The hand grip portion, if circular, shall be between 1 1/2" and 2" in diameter.

Shapes other than circular shall have a perimeter dimension of at least 4" and not greater than 6 1/4" with a maximum cross sectional dimension of 2 1/4". All shapes shall have a smooth surface with no sharp corners. Handrails shall run continuously from a point directly over the lowest riser to a point directly over the highest riser and shall return to the guard at each end (see Figure 33). Handrails may be interrupted by guard posts only at a turn in the stair.

Figure 32: Handrail Requirements

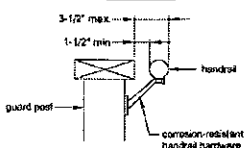


Figure 33: Miscellaneous Stair Requirements

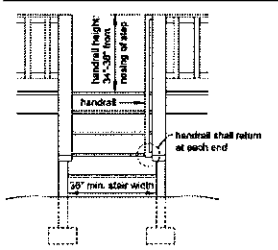
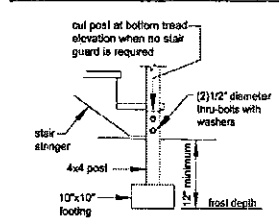


Figure 34: Stair Footing Detail



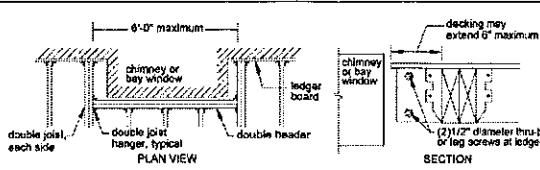
STAIR LIGHTING REQUIREMENTS

Stairways shall have a light source located at the top landing such that all stair and landings are illuminated (R303.6). The light switch shall be operated from inside the house. However, motion detected or timed switches are acceptable.

FRAMING AT CHIMNEY OR BAY WINDOW

All members at a chimney or bay window shall be framed in accordance with Figure 35. Headers may span a maximum of 6'-0". When a chimney or bay window is wider than 6'-0", one or more 6x6 posts may be added to reduce header spans to less than 6'-0". In such cases, the post footing must meet the requirements in the FOOTINGS section. Headers with a span length greater than 6'-0" require a plan submission.

Figure 35: Detail for Framing Around a Chimney or Bay Window

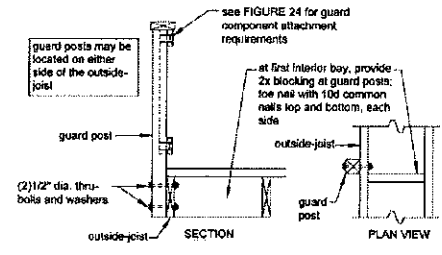


GUARD POST ATTACHMENTS

Deck guard posts shall be a minimum 4x4 (nominal) No. 2 or higher grade (for species listed in Table 1) or with an adjusted bending design value not less than 1,050 psi.

GUARD POST TO OUTSIDE-JOIST: Guard posts for guards which run parallel to the deck joists shall be attached to the outside joist per Figure 25.

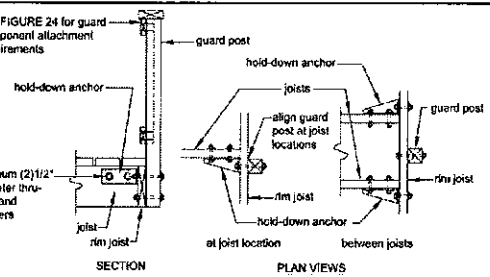
Figure 25: Guard Post to Outside Joist Detail



GUARD POST TO RIM JOIST: Guard posts for guards that run perpendicular to the deck joists shall be attached to the rim joist in accordance with Figure 26. As shown in Figure 26, hold-down anchors must be installed to attach the guard post and rim joist to the

deck joists. There shall be a minimum of two bolts at the hold-down anchors' attachment to the joist. Only hold-down anchor models meeting these minimum requirements shall be used.

Figure 26: Guard Post to Rim Joist Detail



STAIR REQUIREMENTS (RULES)

Stairs, stair stringers, and deck guards shall meet the requirements shown in Figure 27 through Figure 34 except where amended by the local jurisdiction. All stringers shall be a minimum of 2x12. Stair stringers shall not span more than the dimensions shown in Figure

28. If the stringer span exceeds these dimensions, then an intermediate landing will be required. A flight of stairs shall not have a vertical rise larger than 12 feet between floor levels or landings. All intermediate stair landings must be designed and constructed as a free-standing deck using the details in this package.

Figure 27: Tread and Riser Detail

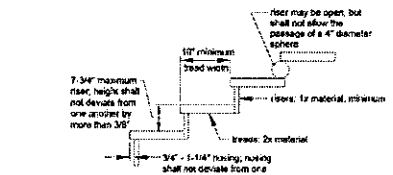


Figure 28: Stair Stringer Requirements

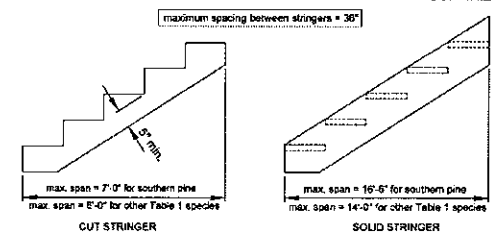
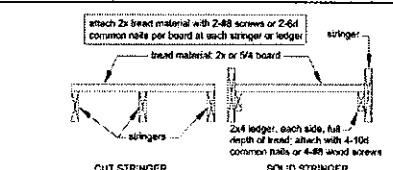
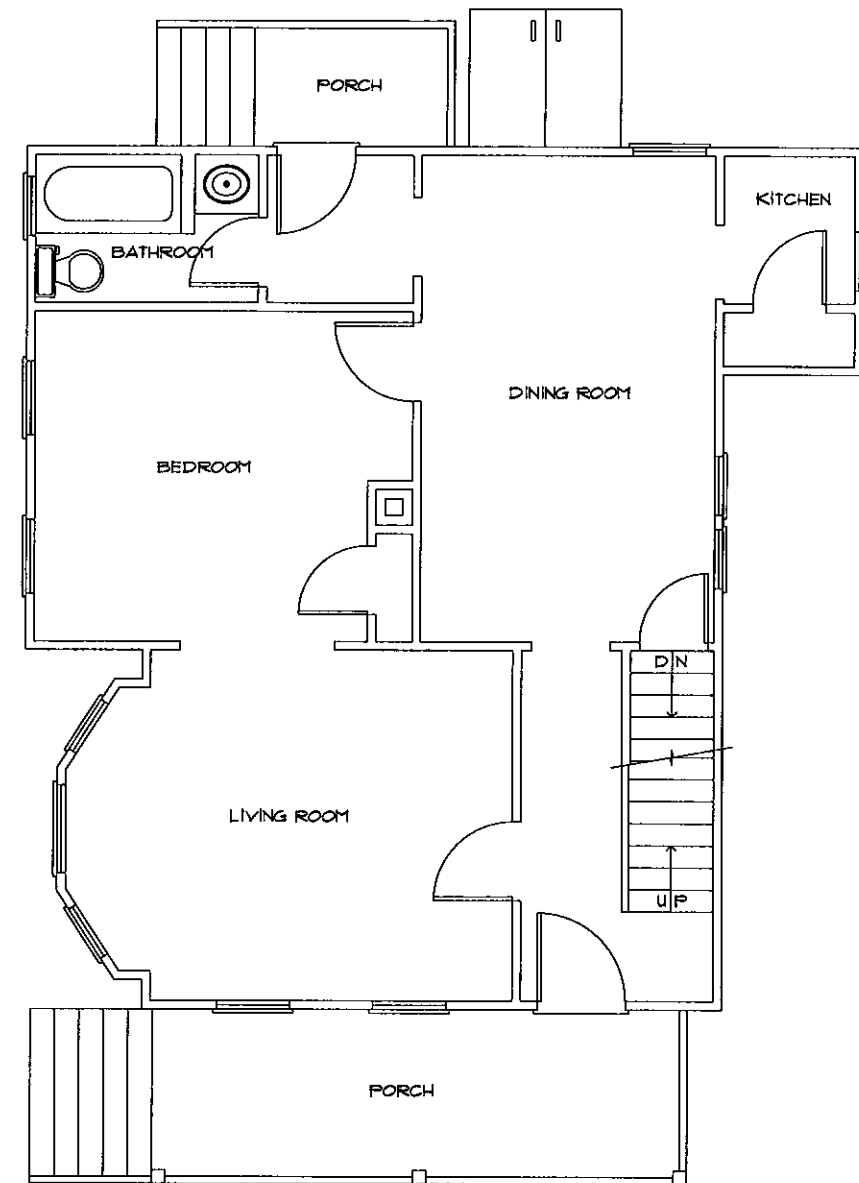
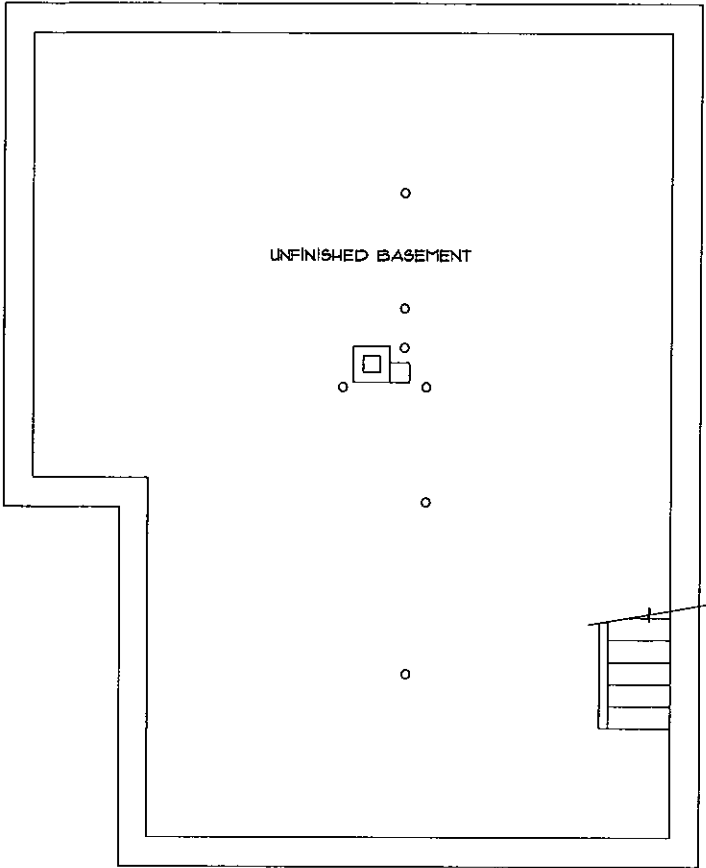


Figure 29: Tread Connection Requirements





B EXISTING CONDITIONS FIRST FLOOR PLAN
EX2.1 SCALE: 1/4" = 1'-0"



A EXISTING CONDITIONS BASEMENT FLOOR PLAN
EX2.1 SCALE: 1/4" = 1'-0"

All items, designs, arrangements, drawings and specifications are prepared by and the responsibility of the designer. The designer shall not be held responsible for any errors or omissions in the drawings or specifications. The designer shall not be held responsible for any construction means, methods, techniques, or procedures utilized by the contractor, nor for the safety of public or contractor's employees; or for the failure of the contractor to carry out the work in accordance with the contract documents. Comprehensive Design/Build Services liability for this plan is limited to the extent of its fee less third party costs.

PROPOSED RENOVATION

Approved as Noted
by _____
Date _____



CDBS House Works, LLC
a Division of Comprehensive Design/Build Services, Inc.
P.O. BOX 578 WEST WATKINS, MA 02271-0578
T/F: 508.291.0651
email: arnold@cdbsdesign.com

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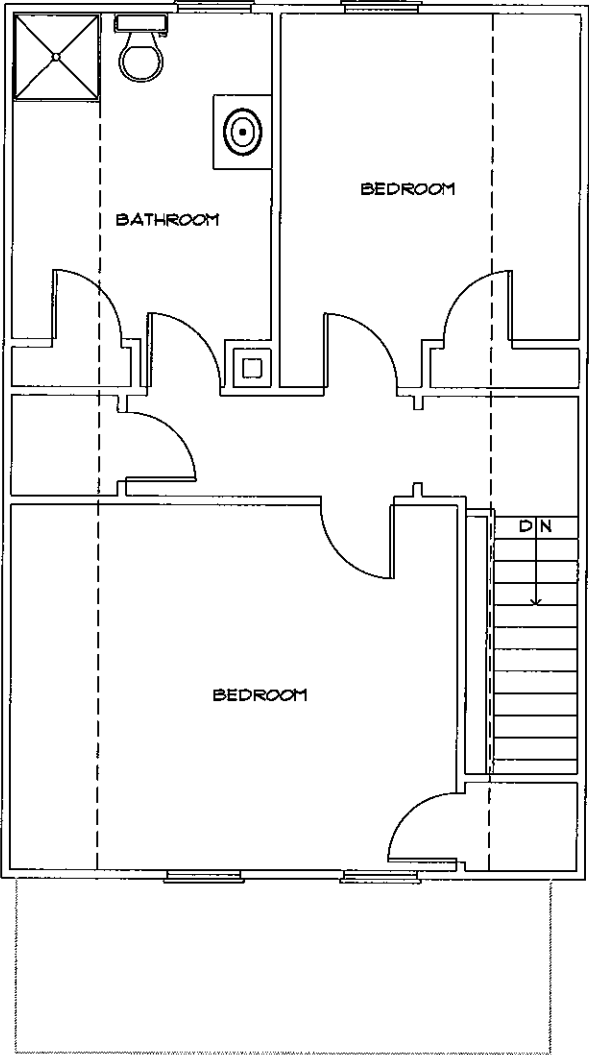
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Approved: JHE	Sheet: 1 of 1	Project: 11	Year: 2020-21

Project: PROPOSED RENOVATION AT: 11 SUNSHINE CT NEWPORT, RI

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EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



Project
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RENOVATION
AT:
11 SUNSHINE CT
NEWPORT, RI

Drawing Title
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Drawing No.
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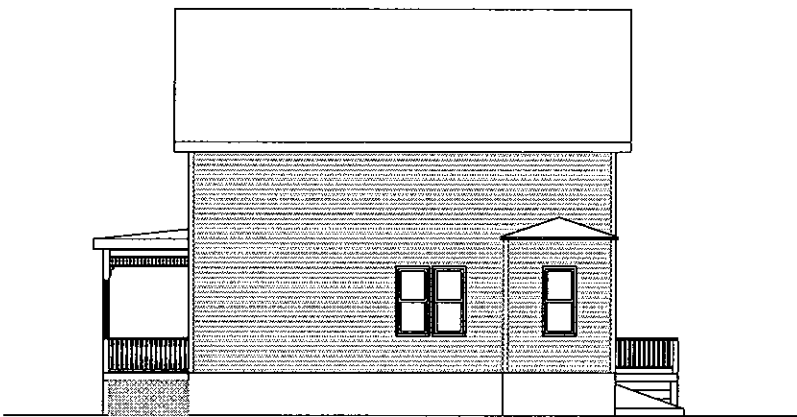
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CDBS
Division of Integrated House Wrights, LLC
P.O. BOX 378
Newport, RI 02840
T: 401.546.3511
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email: armand@cdbsdesign.com

Description
PROPOSED
Renovation
Approved as Noted
Date
by

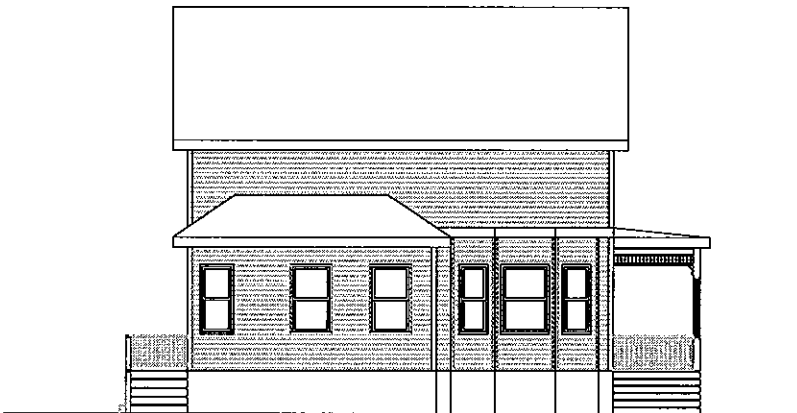
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Note:
All sub-contractors and fabricators shall be responsible for ensuring that all materials and construction are installed in accordance with the manufacturer's instructions and in accordance with the design office.



B EXISTING RIGHT ELEVATION
EX3.1 SCALE: 1/8" = 1'-0"



C EXISTING REAR ELEVATION
EX3.1 SCALE: 1/8" = 1'-0"



D EXISTING LEFT ELEVATION
EX3.1 SCALE: 1/8" = 1'-0"



A EXISTING FRONT ELEVATION
EX3.1 SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATION

Approved on Hold
Date

COMPREHENSIVE DESIGN/BUILD SERVICES
A Division of Integrated House Wrights, LLC
P.O. BOX 378 WEST WAREHAM, MA 02576-0378
email: amr@comprehensivebuildings.com

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EXISTING ELEVATIONS
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Date 10.13.2020 Drawing No.
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PROPOSED RENOVATION
At:
11 SUNSHINE CT
NEWPORT, RI

FOUNDATIONS

- 1) THE ALLOWABLE PRESUMED SOIL BEARING CAPACITY IS 2000 PSF, WHICH IS TO BE VERIFIED IN THE FIELD BEFORE CONSTRUCTION.
- 2) FOOTING SHALL BE CARRIED TO LOWER ELEVATION THAN SHOWN ON THE DRAWINGS IF REQUIRED TO REACH PROPER BEARING CAPACITY.
- 3) WALLS ACTING AS RETAINING WALLS SHALL NOT BE BACKFILLED WITHOUT BRACING UNTIL ALL SUPPORTING SOIL AND SLABS ARE IN PLACE AND AT ADEQUATE STRENGTH.
- 4) COMPACT ALL FILL UNDER FOOTINGS AND SLABS TO 95 % MAXIMUM DRY DENSITY AND VERIFY.
- 5) PROVIDE 1/2" DIA. x 12" LONG ANCHOR BOLTS WITH 2" HOOK AT 8'-0" O.C.
- 6) DAMP PROOF EXTERIOR OF FOUNDATION WALL BELOW GRADE.
- 7) G.C. SHALL INSTALL AND SECURE ALL FIRST FLOOR FRAMING MEMBERS PRIOR TO BACK FILLING AGAINST ALL FOUNDATION WALLS.

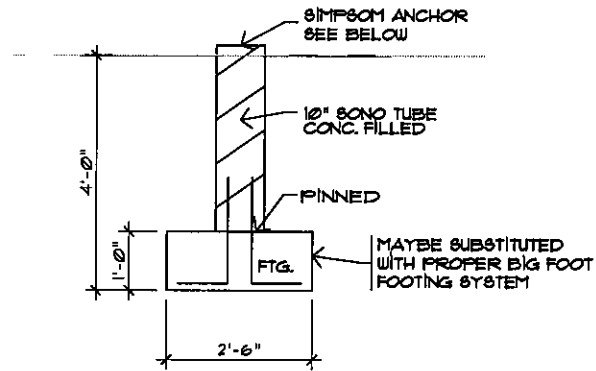
COMPACTED FILL:

1. FOOTINGS TO REST ON FIRM UNDISTURBED SOIL OR COMPACTED FILL - 95% OF MAXIMUM DRY DENSITY.
2. ALL SOFT/ORGANIC OR UNSTABLE AREAS SHALL BE REMOVED AND REPLACED WITH COMPACTED FILL.
3. PROVIDE 6 MIL POLY FILM VAPOR BARRIER UNDER CONCRETE SLAB AND AS NOTED ON DRAWINGS.

GENERAL NOTES:

CONCRETE

- 1) ALL CONCRETE WORK AND MATERIALS SHALL COMPLY WITH THE SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS (ACI 301-89).
- 2) ALL CONCRETE SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 3000 PSI, WITH MAXIMUM 1 INCH AGGREGATE AND MAXIMUM 6 % AIR ENTRAINMENT FOR EXTERIOR CONCRETE EXPOSED TO MOISTURE.
- 3) ALL REINFORCING STEEL SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A 615 GRADE 60.
- 4) CONCRETE COVER OF REINFORCING BARS SHALL BE AS FOLLOWS:
A) 3" AT CONCRETE PLACED DIRECTLY AGAINST EARTH.
B) 2" AT ALL OTHER LOCATIONS.
- 5) NO HORIZONTAL CONSTRUCTION JOINTS ARE ALLOWED, UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS OR ALLOWED IN WRITING BY AN ENGINEER.
- 6) ALL GROUT FOR BASE PLATES SHALL BE NON-SHRINK AND NON-METALLIC, WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
- 7) CONSULT OWNER REGARDING CONCRETE ADDITIVE FOR CORROSION PROTECTION OR REINFORCING.



SONO SECTION
SCALE: 1/2" = 1'-0"

Simpson Strong-Tie® Wood Construction Connectors

ABA/ABU/ABW

Adjustable and Standoff Post Bases (cont.)

- These products are available with additional corrosion protection. For more information, see p. 15.
- For shrinked-steel fasteners, see p. 21.
- Many of these products are approved for installation with Simpson Strong-Tie® SD Connector screws. See pp. 325-337 for more information.

Allowable Loads - Post Installation

Model No.	Nominal Post Size	Material (psi)	Dimensions (in.)						Fasteners				Allowable Loads (DFSP)				Code Ref.
			Base	Strap	W	L	H	HB	Anchor Dia. (in.)	Nails	Qty.	Dia.	Min./in.	Boles	Upfit (100)	Down (100)	
ABA44Z	4x4	16	16	16	3 1/2	3 1/2	—	—	1/2	(8) 0.148 x 3	—	—	—	—	725	—	5,163
ABW44Z	4x4	16	16	16	3 1/2	3 1/2	2 1/2	—	1/2	(8) 0.148 x 3	—	—	—	—	1,035	—	7,150
ABU44Z	4x4	16	12	12	3 1/2	3	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	1,300	2,300	7,573	—	
ABA44RZ	Rough 4x4	16	12	12	4 1/2	3	5 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	1,300	2,300	7,570	—	
ABW44RZ	Rough 4x4	16	16	16	4 1/2	3 1/2	2 1/2	—	1/2	(8) 0.148 x 3	—	—	—	—	535	—	7,115
ABU44RZ	Rough 4x4	16	16	16	4 1/2	1 1/2	—	—	1/2	(8) 0.148 x 3	—	—	—	—	835	—	7,180
ABA46Z	4x6	12	16	16	3 1/2	5 1/2	3	—	1/2	(10) 0.140 x 3	—	—	—	—	845	—	4,589
ABW46Z	4x6	12	16	16	3 1/2	5 1/2	3	—	1/2	(10) 0.140 x 3	—	—	—	—	876	—	10,500
ABU46Z	4x6	12	12	12	3 1/2	5	7	2 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	2,505	2,505	12,520	—	
ABA46RZ	Rough 4x6	12	12	12	4 1/2	5	6 1/2	2 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	2,405	2,405	12,500	—	
ABW46RZ	Rough 4x6	12	16	16	4 1/2	5	2 1/2	—	1/2	(10) 0.140 x 3	—	—	—	—	780	—	4,589
ABU46RZ	Rough 4x6	14	14	14	5 1/2	5 1/2	2 1/2	—	1/2	(8) 0.162 x 3 1/2	—	—	—	—	820	—	10,065
ABA55Z	5 1/2 x 5 1/2	12	10	10	5 1/2	5	5 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	2,235	2,235	10,510	—	
ABW55Z	5 1/2 x 5 1/2	12	10	10	5 1/2	5	5 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	2,235	2,235	10,510	—	
ABU55Z	5 1/2 x 5 1/2	14	14	14	5 1/2	5 1/2	3 1/2	—	1/2	(8) 0.162 x 3 1/2	—	—	—	—	850	—	10,575
ABA56Z	5x6	12	14	14	5 1/2	5 1/2	3	—	1/2	(12) 0.140 x 3	—	—	—	—	1,100	—	12,935
ABW56Z	5x6	12	14	14	5 1/2	5 1/2	3	—	1/2	(12) 0.140 x 3	—	—	—	—	1,100	—	12,935
ABU56Z	5x6	12	10	10	5 1/2	5	0 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	2,425	2,425	10,705	—	
ABA68RZ	Rough 6x8	12	10	10	5 1/2	5	5 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2	1/2	2,425	2,425	12,705	—	
ABW68RZ	Rough 6x8	14	14	14	5	5 1/2	2 1/2	—	1/2	(8) 0.162 x 3 1/2	—	—	—	—	860	—	11,435
ABU68RZ	Rough 6x8	12	14	14	8	8	2 1/2	—	1/2	(12) 0.148 x 3	—	—	—	—	1,005	—	12,935
ABA77Z	7 1/2 x 7 1/2	12	14	14	7 1/2	7 1/2	3	—	1/2	(12) 0.148 x 3	—	—	—	—	840	—	14,535
ABW77Z	7 1/2 x 7 1/2	12	14	14	7 1/2	7 1/2	3	—	1/2	(12) 0.148 x 3	—	—	—	—	840	—	14,535
ABU77Z	7 1/2 x 7 1/2	14	14	14	7 1/2	7 1/2	3	—	1/2	(12) 0.162 x 3 1/2	—	—	—	—	2,570	—	23,140
ABA88RZ	Rough 8x8	14	12	12	8	7	7	—	2 1/2	(18) 0.162 x 3 1/2	—	—	—	—	2,450	—	18,645
ABW88RZ	Rough 8x8	14	14	14	9 1/2	9	7 1/2	—	2 1/2	(22) 0.162 x 3 1/2	—	—	—	—	2,270	—	32,020
ABU88RZ	Rough 8x8	14	14	14	10	9	7	—	2 1/2	(22) 0.162 x 3 1/2	—	—	—	—	1,930	—	31,050
ABA1010Z	10x10	12	12	12	11 1/2	11	7 1/2	—	2 1/2	(22) 0.162 x 3 1/2	—	—	—	—	3,000	—	25,670
ABW1010Z	10x10	12	12	12	11 1/2	11	7 1/2	—	2 1/2	(22) 0.162 x 3 1/2	—	—	—	—	3,000	—	25,670

1. Upfit loads have been increased for earthquake or wind loading with no further increase allowed. Reduce where other loads govern.
2. Downloads may not be increased for short-term loading.
3. Specifier is to design concrete and anchorage for upfit capacity.
4. ABU products may be installed with either bolts or nuts (not both) to achieve listed loads. ABU68Z, ABU68RZ, ABU1010Z, ABU1010RZ, and ABU1212Z may be installed with 1/2" x 3" Strong-Tie® SD Connector screws (sold separately) for the same table load.
5. For higher downloads, pack grout solid under 1" standoff plate before installation. Bana download on column or concrete, according to the table.
6. HB dimension is the distance from the bottom of the post up to the first bolt hole.
7. Structural composite timber columns have loads that show either the wide face or the edge of the timber strand/wall.
8. For SCL columns, the fasteners for these products should always be installed in the wide face.
9. Downloads shall be reduced where limited by capacity of the post.
10. Fasteners: Nail dimensions in the table are listed diameter by length. See pages pp. 21-22 for fastener information.

Simpson Strong-Tie® Wood Construction Connectors

ABA/ABU/ABW

Adjustable and Standoff Post Bases

Additional standoff bases are on p. 321.

The ABA series of retrofit adjustable post bases provide a 1" standoff for the post, are slotted for adjustability and can be installed with retrofit Strong-Tie® SD Connector screws or bolts (ABU). Depending on the application needs, these adjustable standoff post bases are designed for versatility, cost-effectiveness and maximum upfit performance.

Features:

- The slot in the base enables flexible positioning around the anchor bolt, making precise post placement easier.
- The 1" standoff helps prevent rot at the end of the post and meets code requirements for structural posts installed in basements or exposed to weather or water splash.

Material: Varies (see table).

Finish: ZMAX® and zinc in stainless steel, see Corrosion Information, pp. 10-15.

Installation:

- Use all specified fasteners; see General Notes.
- See our Anchoring and Fastening Systems for Concrete and Masonry catalog, or visit strongtie.com for retrofit anchor options or reference technical bulletin T-ANCHORSEC.
- Post bases do not provide adequate resistance to prevent members from rotating about the base and therefore are not recommended for non-top-supported installations (such as fences or unbraced carports).
- Place the base, cut washers (or load transfer plates) and nuts (or the anchor bolt(s)). Make any necessary adjustments to post placement and tighten the nut securely on the anchor bolt.
- See strongtie.com for information on hollow column installation.

ABW

Place the standoff base and then the post in the ABW and fasten on three vertical sides, using nuts or Strong-Tie SD Connector screws.

- Bend up the fourth side of the ABW and fasten using the correct fasteners.

ABU

Place the standoff base and then the post in the ABU.

- Fasten using nuts or Strong-Tie SD Connector screws or bolts (ABU68Z, ABU1010Z, ABU1212Z - SDs optional).

ABA

Place the post in the ABA.

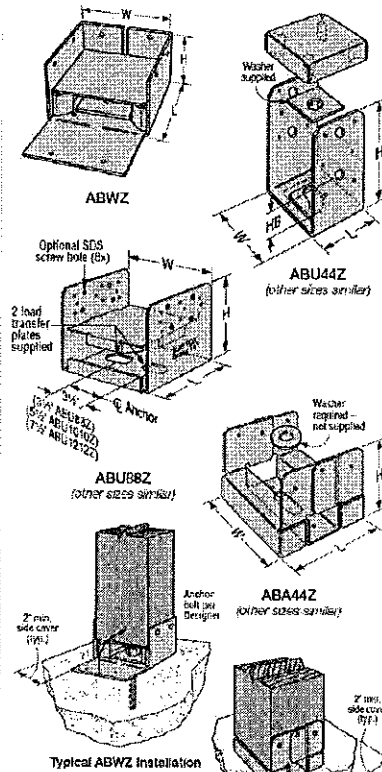
- Fasten using nuts or Strong-Tie SD Connector screws.

Codes: See p. 12 for Code Reference Key Chart.

Allowable Loads - Beam Installation

Model No.	Nominal Beam Size	Material (psi)	Dimensions (in.)						Fasteners	DFSP Allowable Loads				SPF/HF Allowable Loads			
			Base	Strap	W	L	H	HB	Anchor Dia. (in.)	Nails	Upfit (160)	Down (100)	Upfit (160)	Down (100)	Upfit (160)	Down (100)	
ABU44Z	4x4	12	12	12	3 1/2	3 1/2	2 1/2	—	1/2	(12) 0.162 x 3 1/2	2,030	8,425	1,870	6,075	—	—	
ABW44Z	4x4	12	12	12	3 1/2	3 1/2	2 1/2	—	1/2	(12) 0.162 x 3 1/2	2,155	9,995	1,850	7,960	—	—	
ABU46Z	4x6	12	12	12	4	6	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2,155	9,490	1,850	7,960	—	—	
ABW46Z	4x6	12	12	12	4	6	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	2,155	9,490	1,850	7,960	—	—	
ABU48Z	4x8	12	12	12	5 1/2	5	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	1,905	12,920	1,850	11,110	—	—	
ABW48Z	4x8	12	12	12	5 1/2	5	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	1,905	12,920	1,850	11,110	—	—	
ABU68Z	6x6	12	12	12	6	6	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	1,905	12,920	1,850	11,110	—	—	
ABW68Z	6x6	12	12	12	6	6	6 1/2	1 1/2	1/2	(12) 0.162 x 3 1/2	1,905	12,920	1,850	11,110	—	—	

1. Upfit loads have been increased for earthquake or wind loading with no further increase allowed. Reduce where other loads govern.
2. Downloads may not be increased for short-term loading.
3. Specifier is to design concrete and anchorage for upfit capacity.
4. Beam depth must be a minimum of 7".
5. Shims are required for double 2x and triple 2x applications as shown in the illustrations.
6. Fasteners: Nail dimensions in the table are listed diameter by length. See pp. 21-22 for fastener information.



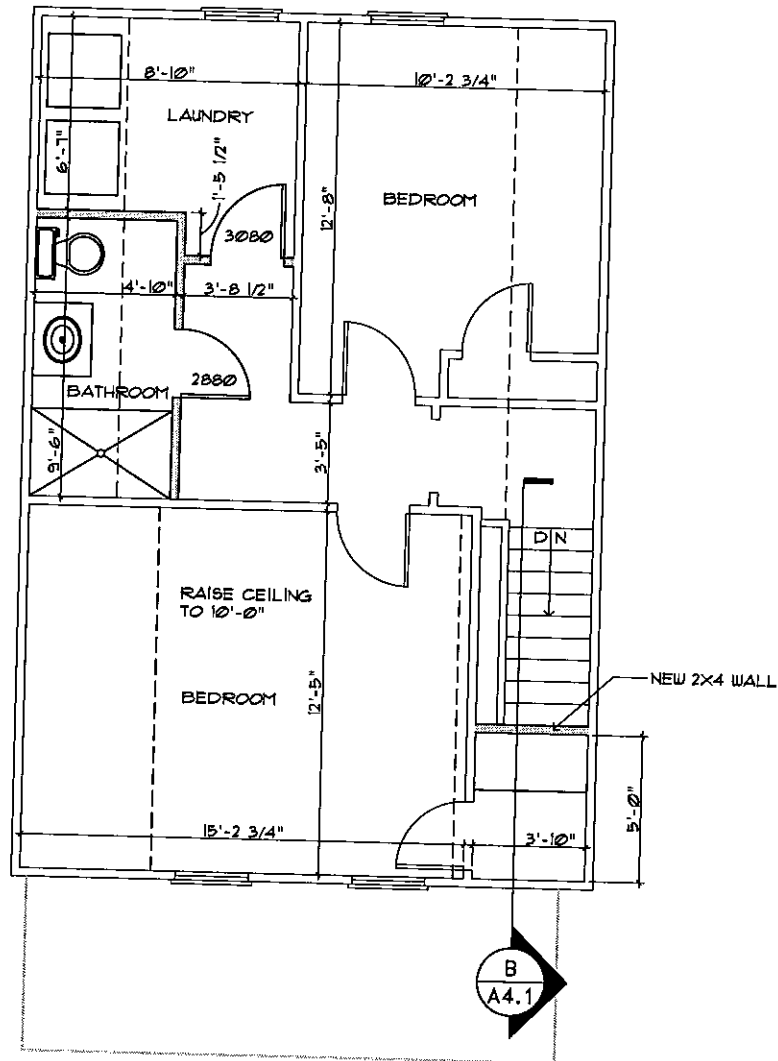
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No.	Date	Revision
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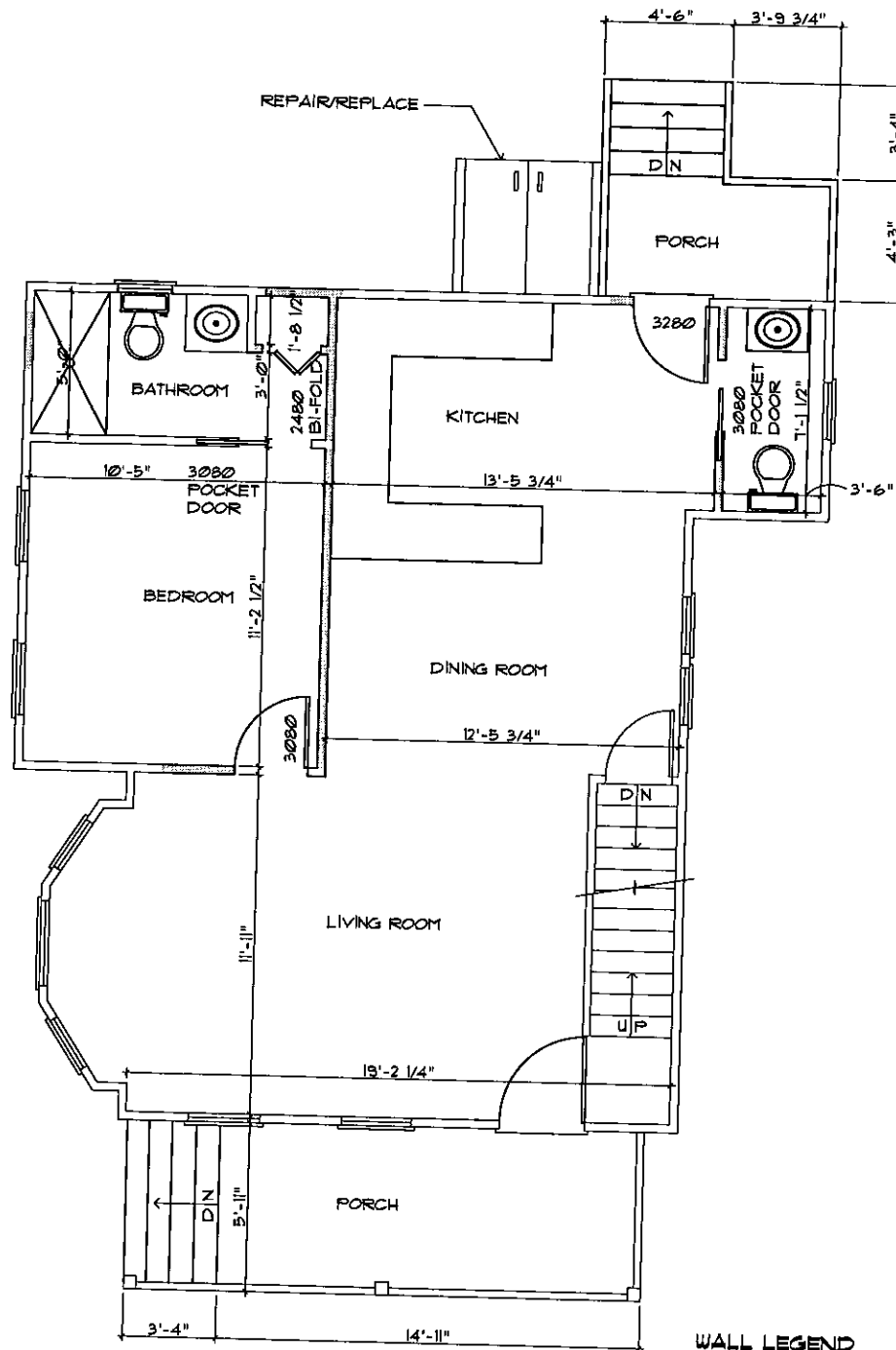
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PROPOSED DECK FOUND PLAN, GENERAL FOUNDATION NOTES AND DETAILS	A1.2	1/2" = 1'-0"	10.11.2020	AM	AM	AM	1 of 1

Project	Proposed Renovation At:	11 SUNSHINE CT NEWPORT, RI
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B
A2.1 **PROPOSED SECOND FLOOR PLAN**
SCALE: 1/4" = 1'-0"



A
A2.1 **PROPOSED FIRST FLOOR PLAN**
SCALE: 1/4" = 1'-0"



WALL LEGEND

EXISTING TO REMAIN

EXISTING TO REMOVED

2X4 STUDS AT 16" O.C. WITH
1-LAYER OF 5/8" TYPE "X"
EACH SIDE UNLESS
SPECIFIED, TYPICAL.

Drawing Title	PROPOSED FLOOR PLANS
Date	10.10.2020
Scale	AS SHOWN
Drawn	amp
Checked	
Approved	
Sheet of	2020-B9

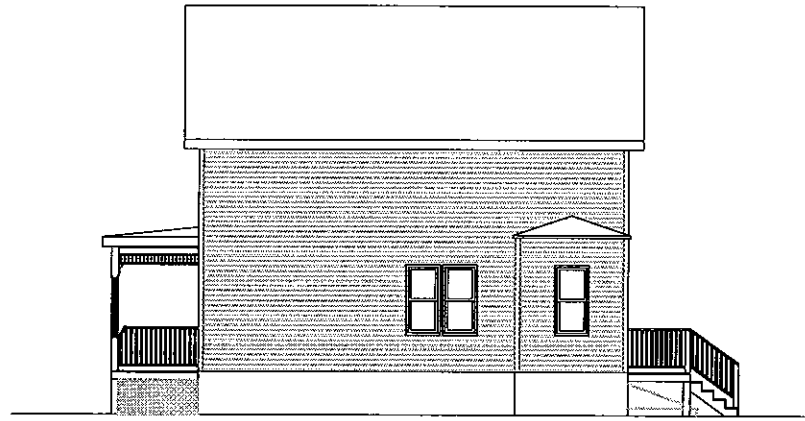
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Description	PROPOSED Renovation
Approved	Approved as Noted
Date	
by	



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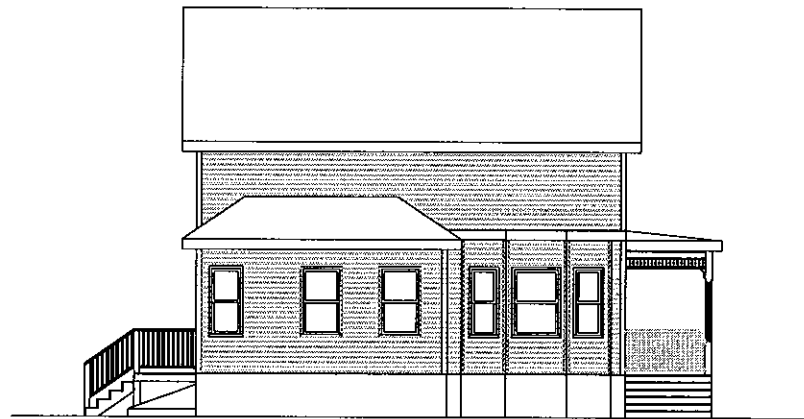
Project	PROPOSED RENOVATION AT:
	11 SUNSHINE CT
	NEWPORT, RI



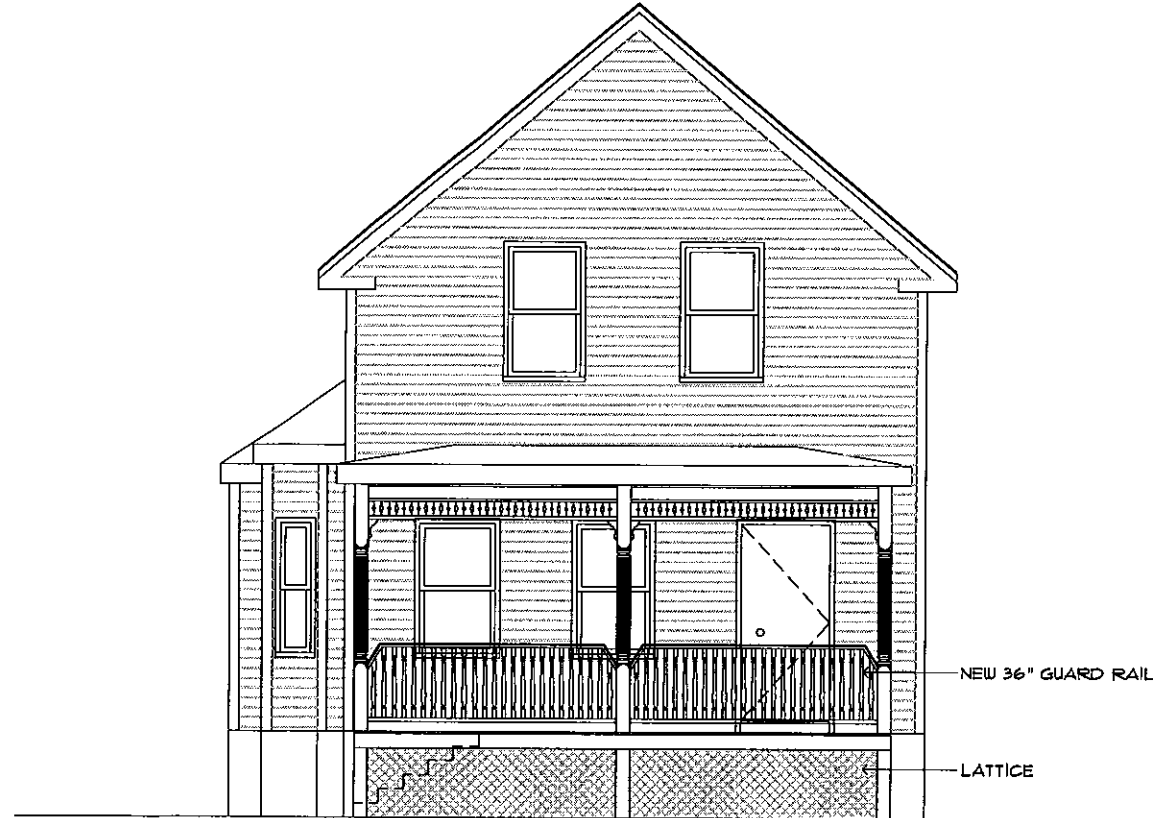
B PROPOSED RIGHT ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



C PROPOSED REAR ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



D PROPOSED LEFT ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



A PROPOSED FRONT ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

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PROPOSED Renovation
Description
Approved as Noted
Date
by

COMPREHENSIVE DESIGN/BUILD SERVICES
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Since 1980
A Division of Johnson House Wright, LLC
P.O. Box 578 West Weymouth, MA 02275-0578
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PROPOSED RENOVATIONS
Drawing No. A3.1
Scale 1/8" = 1'-0"
Date 10.13.2020
Drawn by EAC/2020
Checked by EAC/2020
Approved by EAC/2020
Project No. 2020-89

PROPOSED RENOVATION
At:
11 SUNSHINE CT
NEWPORT, RI



Project

PROPOSED
RENOVATION
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