

Historic District Commission – Application Addendum



54 Hammersmith Drive
2 ½ Story Single Family, Aramli Residence

Appropriateness of Residence Size

54 Hammersmith

Proposed residence size: ~12,800 sq. ft living space on 1st and 2nd floor, attic TBD

Proposed residence footprint: ~8,590 sq. ft including 3.5 car attached garage

The proposed residence lands squarely within the Harrison Ave - Ocean Ave mansion district, among many homes of similar or larger size. Nearby or abutting similar scale homes include:

• 8,090 Sq. Ft	60 Beacon Hill Rd	Abutting Property
• 7,731 Sq. Ft.	30 Hammersmith Rd	Abutting Property
• 10,473 Sq. Ft.	70 Beacon Hill Rd	0.14 Miles
• 11,783 Sq. Ft	31 Beacon Hill Rd	0.35 Miles
• 13,659 Sq. Ft	36 Beacon Hill Rd	0.33 Miles
• 13,534 Sq. Ft	26 Beacon Hill Rd	0.46 Miles
• 13,164 Sq. Ft	325 Ocean Ave.	1 Mile

Appropriateness of Massing & Architecture

54 Hammersmith

The owner has been a full time resident of Newport for 12 years and maintains tremendous affection for the Newport historic architectural aesthetic. The proposed residence was designed drawing on inspirations and elements from numerous architecturally significant and historic Newport manor homes. These architectural inspirations have been adapted, re-invented and recombined to create a new and uniquely modern yet architecturally familiar Newport home. Inspirations were happily drawn from:

- Beach Mound at 729 Bellevue, built 1897
- Crossways at 101 Ocean Ave, built 1900
- Vernon Court at 492 Bellevue, built 1901
- Bois Doré at 115 Narraganset, built 1927

Massing & Architecture

Beach Mound & Crossways, Thematic Inspirations:



Massing & Architecture

Vernon Court and Bois Doré, Thematic Inspirations:



Appropriateness of Massing & Architecture Rendering of Proposed 54 Hammersmith Rd



Appropriateness of Massing & Architecture Rendering - 54 Hammersmith Rd

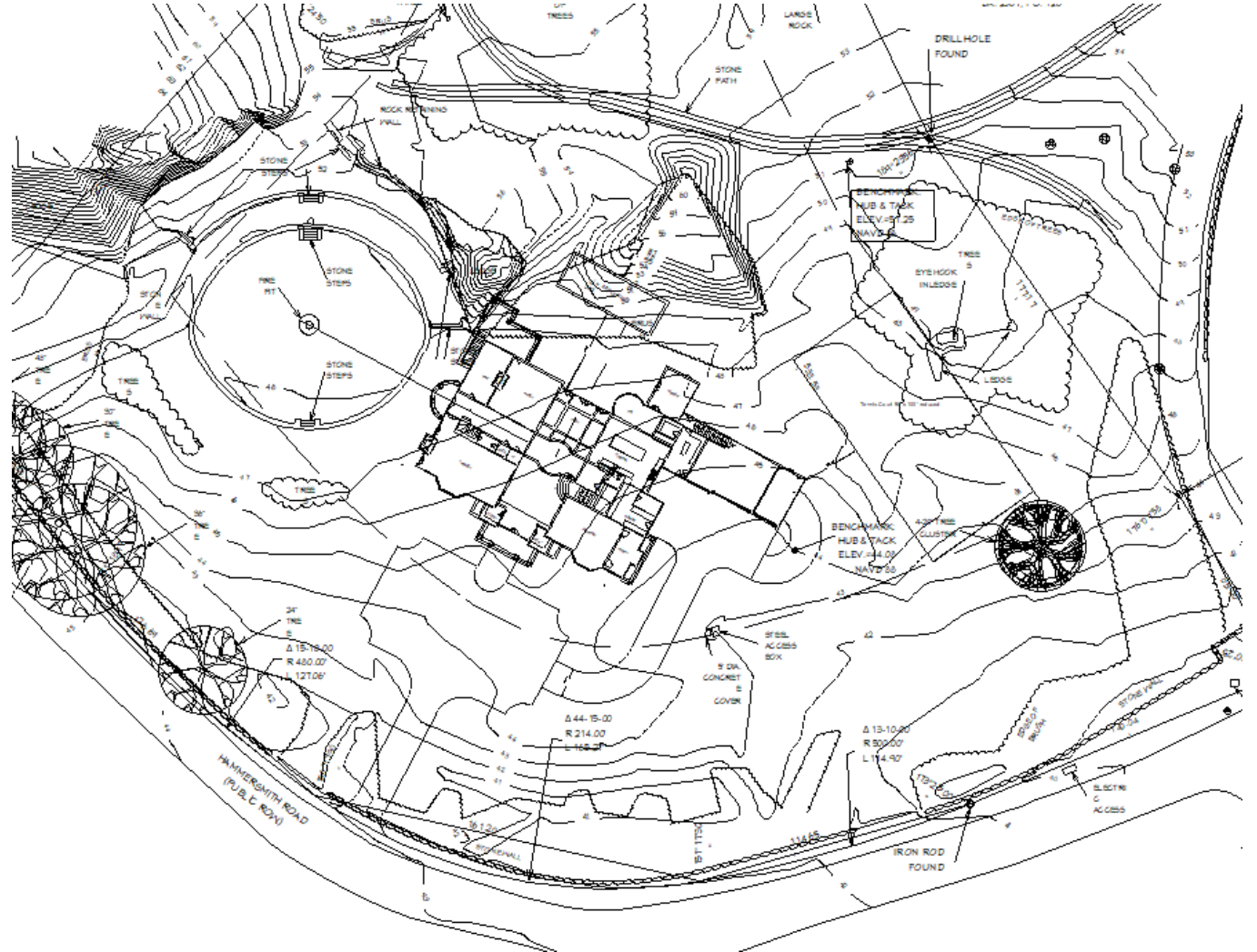


Setback and Siting - 54 Hammersmith Rd

R-160 Zoning

- Setback requirements:
 - 100 feet front
 - 50 feet sides and rear
 - Actual setback > 120ft
- Lot coverage allowed: 6%
- Lot coverage will be within allowed limits
- Building height to be within allowed zoning limits

**NO ZONING VARIANCES TO
BE REQUESTED**



Historic Landscape and Stone Wall Features – The Gate Wall

As part of the original Arthur Curtiss James estate, the vacant plot at 54 Hammersmith contains three distinct historic land features. These include two historic stone walls in various states and a large terraced circular amphitheater historic landscape feature.

One of these historic stone wall features, a portion of the original rear gate of the Arthur Curtiss James estate standing at over 7' tall, is a mortared and capped stacked stone wall in reasonable condition on the plot at the intersection of Hammersmith and Brenton Road. This wall shall be fully reconditioned and restored without modification to its look, form or features.



The Gate Wall – Additional Photo



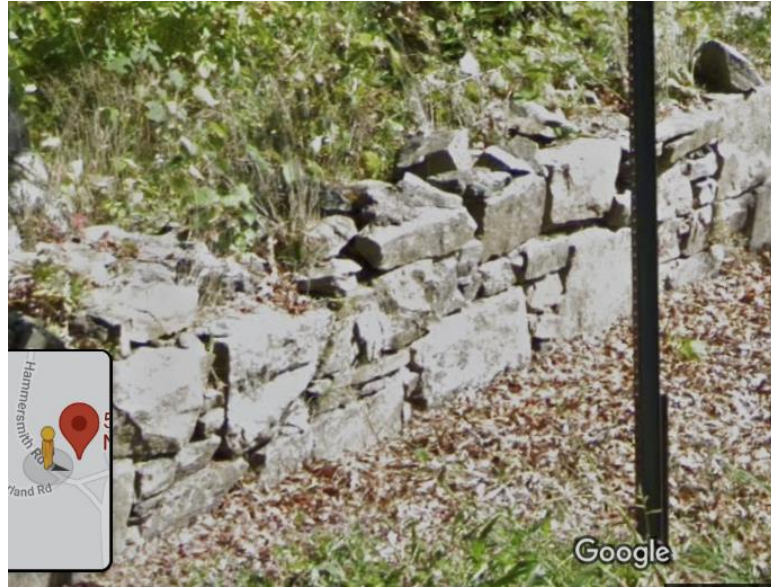
The entire gate wall contains mortared joints. Some minor repairs are necessary and it is clear that prior mortar joint repairs have been performed on the wall.

Stone Wall Along Hammersmith Rd.



Abutting the Gate Wall and running the remainder of the length of 54 Hammersmith road along the southerly plot line is a shorter stacked stone wall ranging from 2.5' to 3' tall, with two large pre-existing openings made by a prior owner ~12 years ago. A drive through Beacon Hill Rd – Hammersmith Rd reveals more than 1 linear mile of stone walls of various types along the roads.

Stone Wall Along Hammersmith Rd.

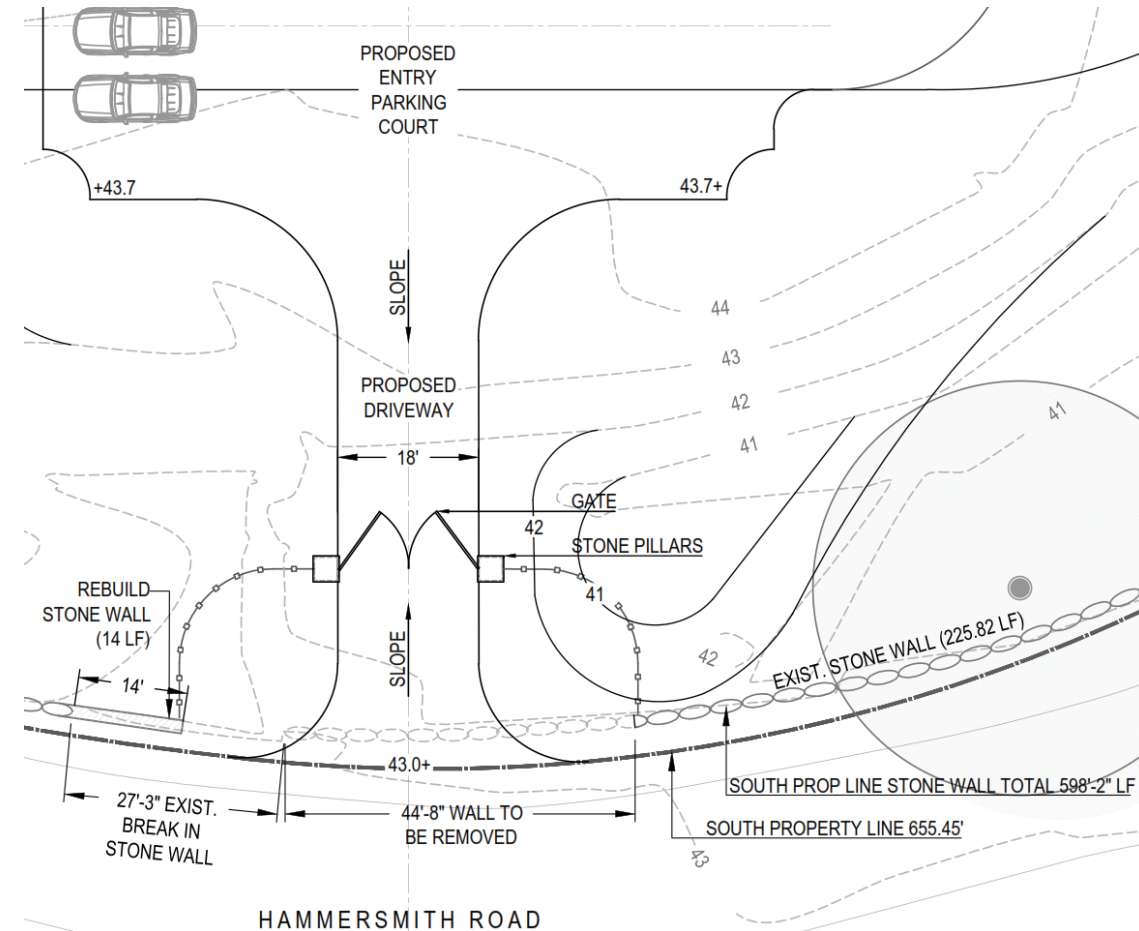


This wall is in poor condition with various sections crumbling or leaning unstably. It is estimated that 40% of this wall will require some rebuilding or repair. The stacked stones show no mortar joints on the sides, but are mortared on the top and interior sections. All repairs/rebuilds shall maintain the original construction approach and utilize existing wall stone still available on-site from prior owners demolition.

Stone Wall, Hammersmith – Modifications for Residence Entrance

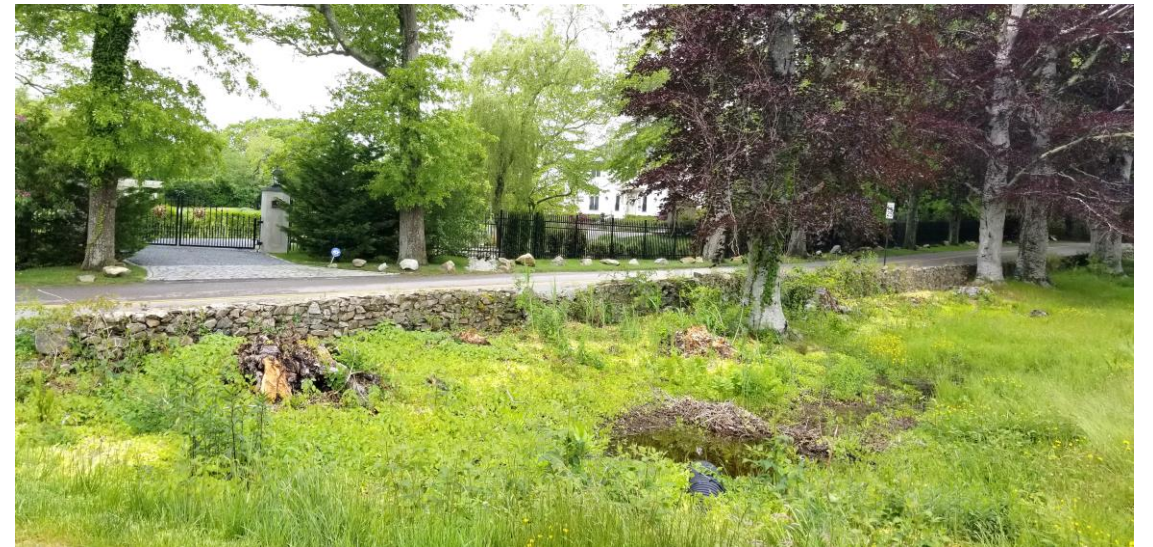
The south property line is 655', with a total length of 598' of existing historic stone wall (91% the length of the south property line). The development plan is to repair and rebuild as necessary the stone wall along its existing length on Hammersmith Rd.

A reduction in length of the existing 598' stone wall of 5% (or 30'8") is proposed for placement of the residence driveway and gated entrance. This includes removal of a 30'8" section of wall and relocation of a 14' wall section to an existing gap in the wall created by a prior owner ~12 years ago, resulting in the net reduction of 30'8" total length.



Stone Wall Along Hammersmith – Modifications for Entrance

In addition to layout aesthetics, the residence driveway was proposed to NOT align perfectly with the pre-existing opening in wall made by a prior owner in order to save one of the historic European Beach trees lining the south property line. Due to natural land slope around the tree, substantial ponding of water has been occurring. Per arborist evaluation, the tree is already unhealthy due to the water ponding. Placement of the driveway immediately adjacent to this area (lining up perfectly with existing opening) will dramatically exacerbate this water ponding issue and likely kill the historic European Beach tree.



Stone Wall Along Hammersmith – Existing Opening #2



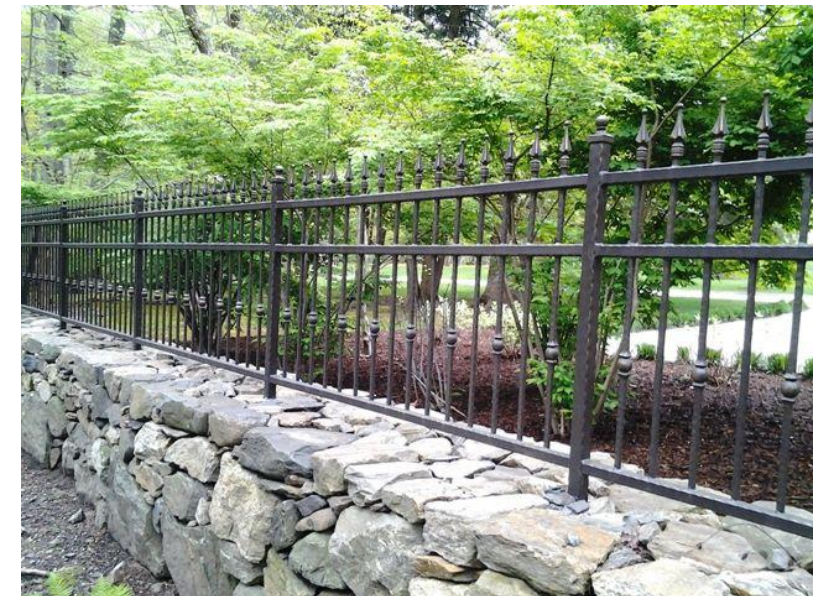
The other existing opening in the stone wall (~29') shall be filled in with ornamental gate fencing (wrought iron style). The wall ends are broken and crumbling, they will be re-built and terminated with gate posts of identical stone construction to the wall, using stone from the wall left on-site from prior owner, of height no more than 3' above the existing wall top.



Stone Wall Along Hammersmith – Additional Protection & Fencing

The development proposal to restore and rebuild the stone wall along its existing length on Hammersmith rd. includes placing a cementitious or stone cap as typical of many historic Newport stone walls to ensure longevity after repair. See photo of typical protective cap on historic stone wall from nearby Pen Craig estate. The vast majority of historic stone walls in Newport have caps for this purpose.

Due to high population of coyote, deer in this area, and the family's desire for privacy, the entire lot will be fenced. For the south property line, short, 3 to 4' wrought iron style ornamental fencing is proposed to be mounted directly on the restored and capped stone wall. See photo for typical example.



“The Amphitheater”

This large historic landscape feature is defined by a depressed circular area ~90 foot diameter with an additional circular arced terrace on its north side. Retaining walls that define the landscape feature vary from 18” to 4’ high. It is in an extreme state of disrepair and crumbling.



“The Amphitheater”

The retaining walls are in an extreme state of disrepair and crumbling. Nearly 70% of this landscape retaining wall will require rebuild and repair. The stairs would be considered unsafe. The stone retaining walls have mortared joints and all repairs/rebuilds will be done in the original construction style of the wall, using wall stone available on-site.



Beacon Hill House

McKim, Mead, and White built Belvoir for John H. Glover in 1887. Around 1909 Arthur Curtiss James bought the property and tore down Belvoir. Enlarging its foundations, he erected an imposing stone mansion on the highest point of Beacon Hill, surrounded by extensive grounds laid out in the natural setting of the granite outcroppings. The view of the ocean and Narragansett Bay was unsurpassed. It is strange to note that none of the many gardens planned for him by the Olmsted Brothers, Hempstead of Boston, his superintendent, John Greatorex, and Mrs. Harriet Foote, who planned the extensive rose garden, lay close to the house. On either side of the main road to the estate, paths edged with low-clipped evergreens were measured out with pink rambler roses on posts with a riot of gay flowers around them. The background claimed the native rock outcroppings, dotted with arborvitae, red cedar, pine, spruce, and yew, pointing their conically trimmed fingers upwards to heaven. Arthur Curtiss James' stone mansion ruled the crest of the rocks above. When the American flag was flying, he was always at home.

Plate 48.

Near one of the three stone pillared entrances was situated the old rose garden. The circular lawn, with its carved stone well in the center, was sunken on a slightly lower level and edged with English ivy and low, clipped English boxwood. Giant cryptomeria, spruce, and arborvitae cast their shadows on the velvet grass. Steps led to several rose arbors, watched over by impressive stone figures.

Plate 49.

Peckham Brothers, Middletown contractors, literally blasted the site for the new 1,000-foot rose garden out of the surrounding crags east of the house in 1931. It was then filled with the finest loam, manure, and liquid fertilizer in which 5,000 roses were planted. No wonder they thrived in such a rocky place. The oval reflecting pool was surrounded by dwarf varieties and standard

Plate 50.

Research on “The Amphitheater”
reveals it to be the original rose
garden of the Arthur Curtiss James
Estate, circa 1910

Historic Photo of Original Arthur Curtiss James Rose Garden

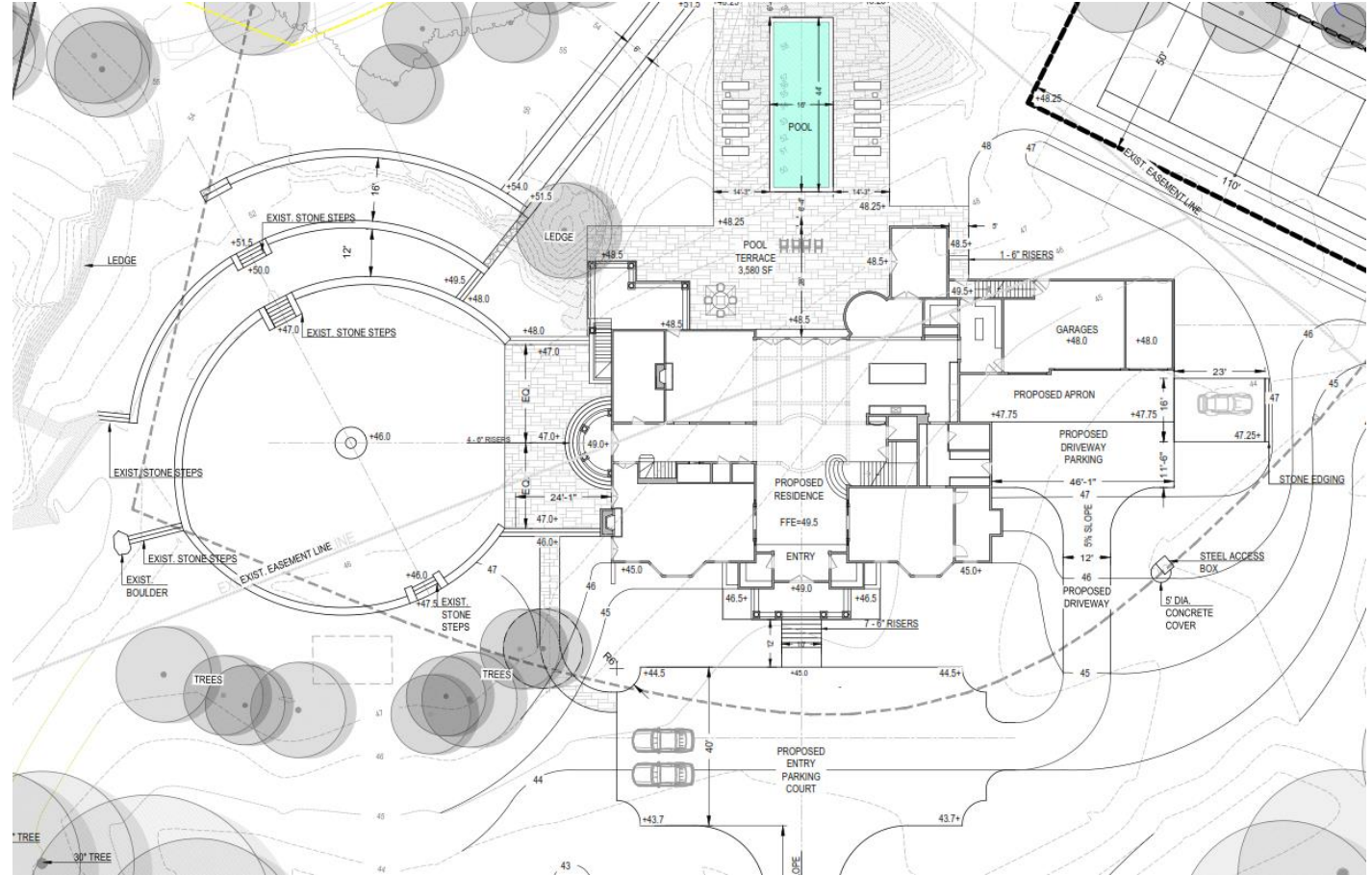
Development plan: The ruins of this once beautiful rose garden and its landscape features shall be restored, repaired, rebuilt and returned to its former status as a manicured formal rose garden and landscape centerpiece of the new residence.



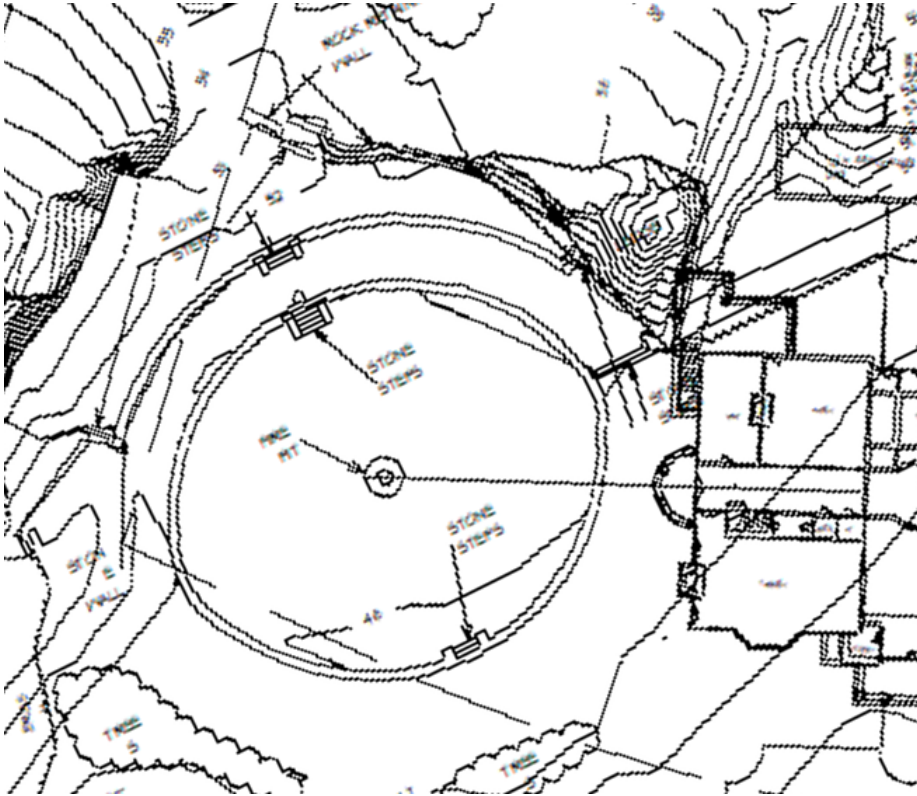
Plate 49.

“Amphitheater” Rose Garden Residence Development Plan & Siting

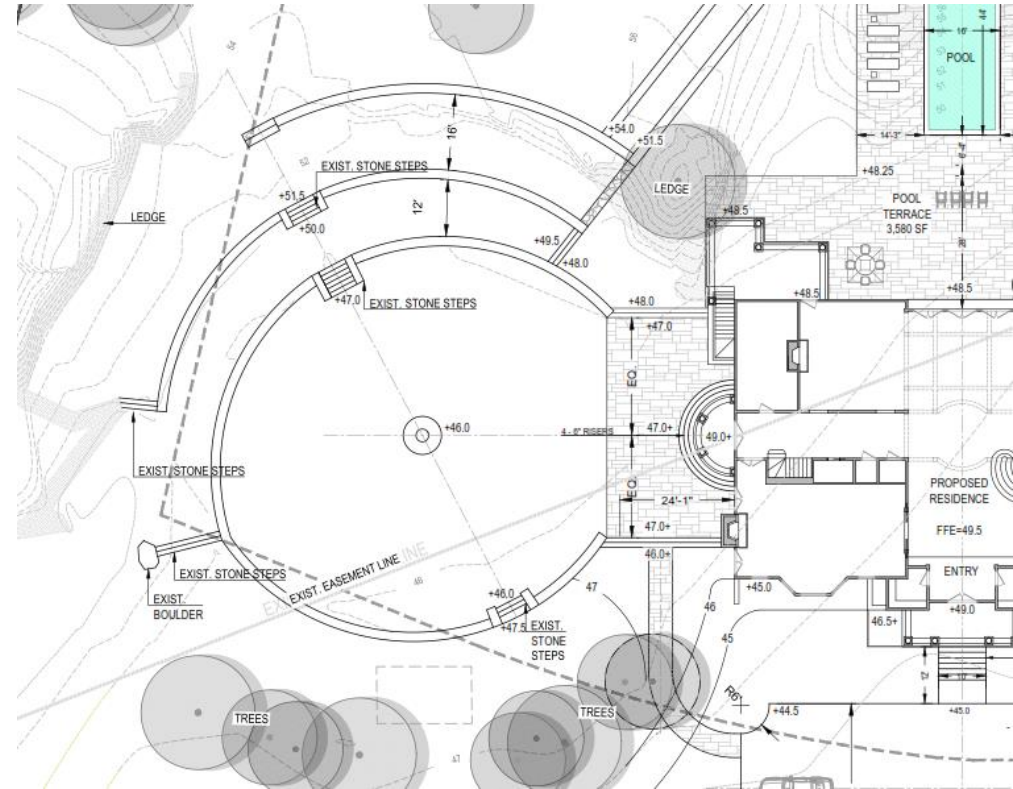
The house shall be sited such that the circular formation of the restored rose garden becomes the centerpiece of the new landscape plan. The home shall be tightly integrated to the rose garden with direct access from the west door. A very small portion of the circular formation at its lowest height shall be modified to allow a seamless connection from the west door and outdoor patio (see site plan). The original historical aesthetic of the circular landscape feature shall be maintained.



“Amphitheater” Rose Garden Residence Development Plan & Siting



Existing: 519 linear feet of mortared stone retaining walls form the landscape feature



Post-development: 47 linear feet of existing retaining walls removed in favor of patio. 91% of existing retaining walls to be repaired and remain, additional retaining walls to be added.

The vast majority of the landscape feature shall be repaired and preserved:



Only a very small portion (9%) of the lowest height section of retaining wall to be removed to accommodate a paved patio (~ between red lines):



Proposed Work Requests to HDC

Five individual proposed work projects are requested for approval. We request each work project to be considered by HDC independent of the others for the purposes of approval:

- 1) Approval for construction of single family residence with pool
- 2) Approval for modifications of historic stone wall for the new residence entrance and driveway
- 3) Approval for repairs to existing historic stone wall for crumbling or leaning areas
- 4) Approval for modification of historic stone wall to add protective stone caps
- 5) Approval for modification historic stone wall to add embedded ornamental fencing in stone caps proposed in #4.
- 6) No approval is requested for any modifications/repairs to “Amphitheater” Rose Garden. The plans are presented to HDC for informational purposes to demonstrate owners commitment to preservation, as historic landscape features are specifically not within purview of HDC. See next slide for relevant City of Newport Ordinances.

Referenced City of Newport Ordinances and Codes

17.74.020. - Definition.

For the purpose of this chapter, the following definition shall apply unless the context clearly indicates or requires a different meaning.

"Historic stone wall" means a human-made linear or curvilinear structure, freestanding or semi-attached to another structure, comprised primarily of aligned, stacked, and/or cemented natural stone, originally constructed in the 17th, 18th, 19th, or early 20th centuries, to designate a property boundary or to segregate activities within a single property.

(Ord. No. 2014-020, § 1, 8-27-2014)

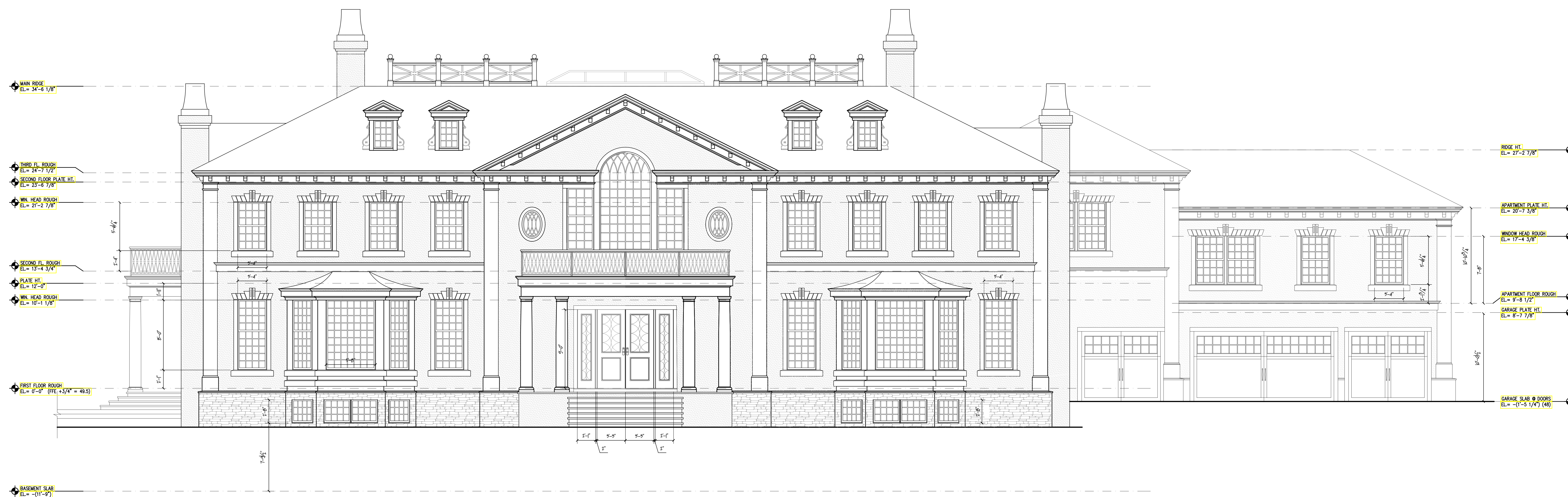
17.80.020. - Definitions.

"Historic designed landscape" means a landscape that was consciously designed or laid out by a landscape architect, master gardener, architect, or horticulturist according to design principles or a gardener working in a recognized style or tradition. The landscape may be associated with significant person(s), trend, or event in landscape architecture; or illustrate an important development in the theory and practice of landscape architecture. Aesthetic values play a significant role in designed landscapes. Examples include parks, campuses, walking trails and estates. Importantly, Newport has a number of nationally significant landscapes, now exempted from review; the commission should recognize and encourage the preservation of such historic designed landscapes.

"Historic landscape features" means features which characterize the historic and designed character of a property's setting, including, but not limited to, decorative or retaining walls, gates, fences, statuary or other objects of art, seating or other furnishings, arbors, trellises, fountains, paths, walkways, driveways, the contour and elevations of landforms and designed grades, and under certain circumstances, trees.

DRAWINGS NOT
FOR BIDDING, PRICING OR PERMITTING

05.26.202



Issues		
Number	Date	Description

Checked by: AT	Drawn by: AT/DL/KS	Project Number: -
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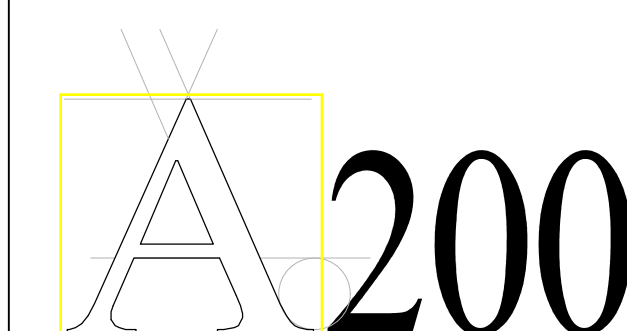
Revisions		
Number	Date	Description

ARAMIL
ESTATE

54 Hammersmith Road
Newport, RI
02840

Drawing Scale:	Date Issued:
1/8" = 1'-0"	01/21/2005

ELEVATIONS



DRAWINGS NOT
FOR BIDDING, PRICING OR PERMITTING

05/26/2021



ELEVATIONS

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N/F EARL C. & LISA T. STUBBS
BK 307, PG 296



FOR REVIEW
(NOT FOR
CONSTRUCTION)

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