



NEWPORT HISTORIC DISTRICT COMMISSION

DEPARTMENT OF ZONING & INSPECTIONS

43 Broadway, Newport, Rhode Island 02840

401.846.9600 (City Hall) 401.845.5357 (Preservation)

CHECK # 292

Received by the Zoning and Inspections Department:

MAR 24 2021

B750

HDC
MPE. 35

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Please complete this application in **BLACK** or **BLUE** ink only.

Illegible/incomplete applications will be returned to the applicant.

Hearing Dates and Filing Deadlines are posted at City Hall and www.cityofnewport.com.

GENERAL INFORMATION

PROPERTY ADDRESS: 54 HAMPSHIRE ROAD	Plat: 43 / Lot: 054
Property Name (if any, including historic): N/A	Original Date of Construction: N/A
APPLICANT (Legal Owner of Record): MARK # 10A ARAMCI	Telephone: 401 608 2286 Email:
Mailing Address: 174 BELLEVUE AVE SUITE 308 NEWPORT RI 02840	
LEGALLY AUTHORIZED REPRESENTATIVE: A.TESA ARCHITECTURE	Telephone: 401 608 2286 A.TESA Email: A.TESA@ARCHITECTURE.COM
Mailing Address: 174 BELLEVUE AVE SUITE 308 NEWPORT RI 02840	

ADDITIONAL INFORMATION CHECKLIST

- ☒ N Is the application fee included? (See attached General Fee Schedule)
- ☒ Y Is the property in condominium ownership? If yes, proof of board or association approval must be attached.
- ☒ Y Is this application filed in response to a violation notice?
- ☒ Y Is this application a modification of plans previously-approved (date(s) _____) by the HDC?
- ☒ Y Does this project require other approvals? Zoning _____ CRMC _____ Other (describe): _____
- ☒ Y Does access to the subject property require special arrangements? _____

SUMMARY OF PROPOSED WORK

Describe all proposed exterior alterations to the subject property here.

Do not leave this section blank.

Check off all applicable categories below.

SEE ATTACHED.

- Y ☒ N Repair/replacement of exterior architectural features?
- Y ☒ N Minor Alteration(s) – Any alteration(s) that replace existing building features or any new construction of less than 25% of the existing structure's square footage?
- Y ☒ N Major Alteration(s) – Any addition(s) of more than 25% of an existing structure's square footage or any new freestanding structure(s)?
- ☒ Y N New Construction?
- Y ☒ N Demolition?
- ☒ Y N Roof(s) or skylight(s)?
- ☒ Y N Window(s) or door(s)?
- ☒ Y N Porches or Entries?
- ☒ Y N Chimney(s)?
- ☒ Y N Foundation?
- Y ☒ N Mechanical and/or electrical equipment?
- Y ☒ N Shutters or awnings?
- Y ☒ N Sign(s)?
- ☒ Y N Pools and/or site structures?
- Y ☒ N Other? Describe: _____

REQUIRED APPLICATION MATERIALS

PLEASE READ CAREFULLY TO CONFIRM THAT ALL REQUIRED MATERIALS
ARE INCLUDED IN COMPLETED APPLICATION PACKET.

All HDC application materials must be submitted on 8.5x11 or 11x17 paper, single-sided, to facilitate electronic scanning, posting and archiving.

10 COPIES OF EACH APPLICATION ARE REQUIRED.
1 DIGITAL COPY OF ALL MATERIALS SHOULD BE SUBMITTED TO
PRESERVATIONCOA@CITYOFNEWPORT.COM

☒ ☐ COMPLETED APPLICATION FORM AND 10 COPIES OF EACH REQUIRED MATERIAL
(PHOTOGRAPHS, DRAWINGS AND MATERIALS/PRODUCT LITERATURE/SAMPLES)
INCLUDED? *First electronically per code business*

☒ ☐ PHOTOGRAPHS?

Ten (10) color copies of color photographs (4" x 6" or larger) clearly depicting current existing conditions at the property are required for all applications. Include a minimum of one (1) street view of the property showing any portions of the building(s) that are visible and a minimum of one (1) photograph of each elevation that will be affected by the proposed work. **Photographs must be submitted on 8.5x11 or 11x17 paper. Prints are not accepted.** Date and legal address of subject property should be indicated on all photographs. Including historic views of the subject property is encouraged.

☒ ☐ DRAWINGS?

If drawings are required, one (1) original drawn scale set should be submitted along with ten (10) copies of the original, reduced to fit on 8.5x11 or 11x17 paper. Drawings must include date, scale, cardinal points (N, S, E and W) and proposed materials. If the application proposes modifications to a plans previously approved by the HDC, an 11x17 copy of the previously-approved drawings must be included along with new drawings depicting proposed modifications. Please note that applications for any major construction require drawings that meet professional standards.

Elevation drawings are required for most projects and should show existing conditions and proposed alterations at all elevations that will be affected by proposed work. (1/4" = 1' scale or larger for most residential-scale projects)

Elevation detail and cross section drawings are required for proposed projects (including new construction and major alteration) that involve new or altered windows, doors, dormers, porches, trim elements and other new or altered architectural features. (3/4" = 1' scale or larger)

Full scale details are required for certain proposed new architectural elements (moldings and other trim elements, for example.)

Site plan is required for any alteration to existing building footprints, including proposed free-standing construction or additions to existing buildings as well as for the addition of at-grade mechanical equipment. (1"=20' scale or larger)

Perspective drawings (or some other form of perspective depiction, such as photomontage) may be required for proposed new free-standing construction or substantial alteration of existing buildings or sites.

☒ ☐ MATERIALS/PRODUCT LITERATURE/SAMPLES?

Ten (10) copies of product literature and/or manufacturer specification sheets for stock items should also be submitted. Material samples are requested on a case-by-case basis, but are generally required for any proposed new construction or substantial alteration of existing buildings.

SIGNATURE

I certify that (i) I am the Legal Owner of Record or legally authorized to sign on behalf of the property's Legal Owner of Record and (ii) all of the information provided in and with this application is true and accurate to the best of my knowledge.

Applicant Signature: *[Signature]*

Date: 3/16/2021

Applicant Printed Name: Alex R. FEA, AIA



Application for Certificate of Appropriateness

Original Submission Tuesday – March 16, 2021
Addendum: June 1, 2021

PROJECT LOCATION:

54 Hammersmith Road

Map 43 / Lot 054

TO:

City of Newport Rhode Island

Historic District Commission

Attn: Helen Johnson



CONTENTS

Application

Summary of Proposed Work

Proposed Exterior Elevations

(A200, A201, A202, A203 ON 11X17)

(A200, A201, ON 36x48 @ 1/4")

Proposed Building Sections

(A204 ON 11x17)

(A204 ON 36x48 @ 1/4")

Proposed Building Details

(A204 ON 11x17)

(A204 ON 36x48 @ 1/4")

Material / Product Literature



Summary of Proposed Work

Five individual proposed work projects are requested for approval, all relating to construction of a new single family residence. We request each work project to be considered by HDC independent of the others for the purposes of approval. Please see addendum for further details on #2-#5:

- 1) Construct a new 2-1/2 story, single family residence with an attached 3.5-car garage and pool in the character that will blend seamlessly with the existing Newport aesthetic. Proposed project is under the 35' max height allowed and no zoning variances are anticipated to be requested.
- 2) Modifications of historic stone wall for the new residence entrance and driveway
- 3) Repairs to existing historic stone wall for crumbling or leaning areas
- 4) Modification of historic stone wall to add protective stone caps
- 5) Approval for modification historic stone wall to add embedded ornamental fencing in stone cap proposed in #4. **WITHDRAWN**



Materials / Product Literature

Windows:	Andersen E Series Aluminum Clad Windows with Simulated Divided Lite Grilles. (See attached specs)
Sidewall:	Parex Exterior Stucco System (See attached specs)
Roofing:	Tesla Shingles (See attached specs)
Exterior Trim:	Composite flat stock by Versatex for all exterior profiles, dimensions, & overhangs. (See attached specs) 'Haddonstone' cast limestone decorative window and door surrounds/Pilasters
Stone Veneer:	Eldorado Stone Veneer

Windows:

Andersen E Series Aluminum Clad Windows with Simulated Divided Lite Grilles.
(See attached specs)

Simulated Divided Lite | Grilles | Patterns



Simulated Divided
Lite with Spacer Bar
(SDLS)



Simulated Divided
Lite (SDL)

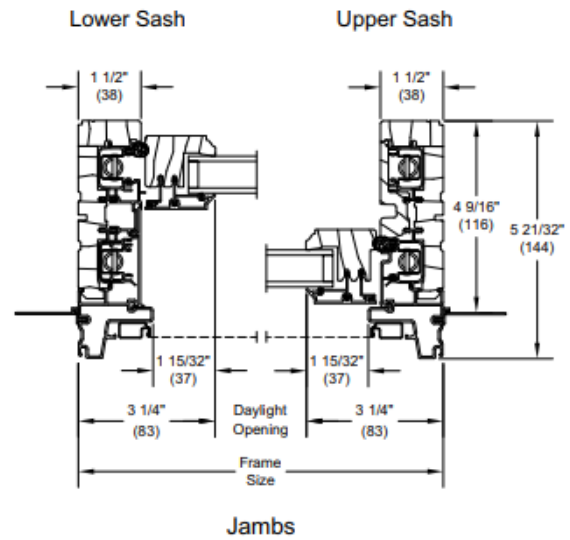
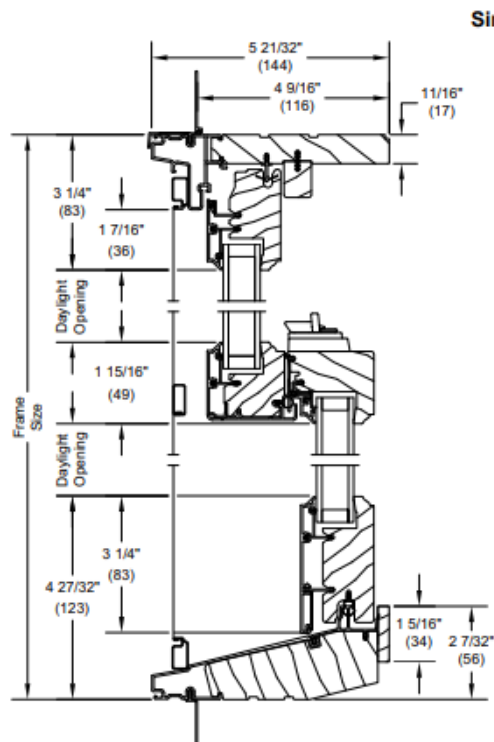
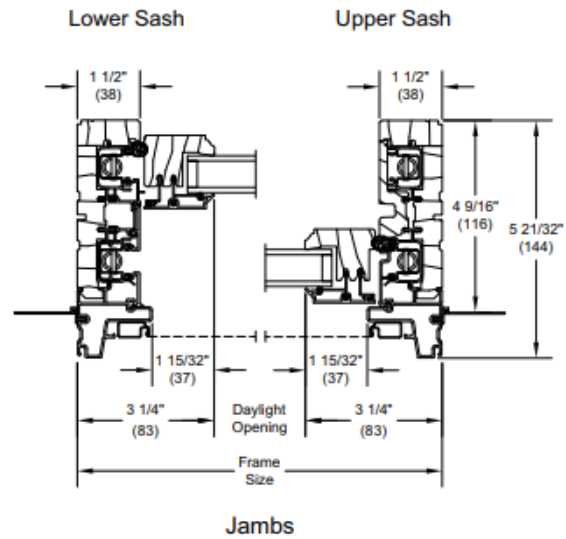
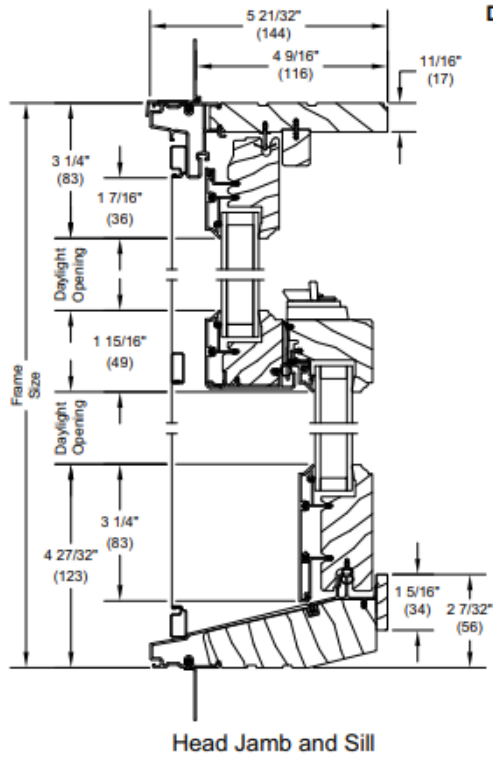
Simulated Divided Lite

- **Simulated Divided Lite with Spacer Bar (SDLS)** - an energy-efficient way to create the look of divided lites. SDLS bars are permanently adhered to both sides of the glass. A spacer bar is installed between the glass, creating the essence of Authentic Divided Lites.
- **Simulated Divided Lite (SDL)** - SDL bars are permanently adhered to both sides of the glass.

A.TESA

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Scale: 3" = 1' 0"



Exterior Wall:

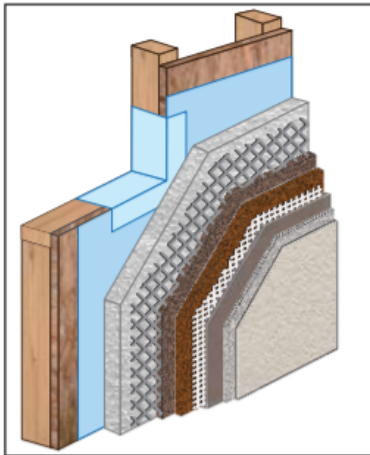
Exterior Stucco System
(See attached Specs)

PAREX[®]

System Snapshot

Armourwall 300 Watermaster CI Stucco Systems

Standard & Krak-Shield Systems



Parex Armourwall 300 Watermaster CI Stucco incorporates continuous rigid insulation, helping designers meet today's code requirements and provides a durable exterior stucco façade with unique, refined aesthetic appeal. These 3/4" thick assemblies can be installed at greater thicknesses in accordance with ASTM C926 as required for fire resistance rated assemblies or STC ratings. Enhanced Krak-Shield crack-resistance is available for all configurations by incorporating a reinforced leveling coat prior to application of the finish. As a WaterMaster system it incorporates a liquid-applied air & water-resistive barrier membrane, used for both joint treatment and field surface area application, that significantly reduces air leakage, maximizes energy efficiency and eliminates the potential of rips and tears in the membrane during construction.

Suitable Types of Construction	Non-combustible	<input checked="" type="checkbox"/> Residential	<input checked="" type="checkbox"/> Commercial
	Combustible	<input checked="" type="checkbox"/> Residential	<input checked="" type="checkbox"/> Commercial
	Fire-Resistance Rated Walls	<input checked="" type="checkbox"/> Residential	<input checked="" type="checkbox"/> Commercial
	Application Type	<input checked="" type="checkbox"/> New	<input checked="" type="checkbox"/> Renovation
	Application Orientation	<input checked="" type="checkbox"/> Exterior Only	

Substrates	Gypsum Sheathing	Cement Fiber Sheathing
	Fiber Board	Concrete & CMU
	Exposure 1 OSB ¹	CDX Plywood ²

¹Regional restrictions apply. For OSB applications outside of approved regions, use Parex Standard WaterMaster LCR.
²See Tech Bulletin TB008 and TB011.

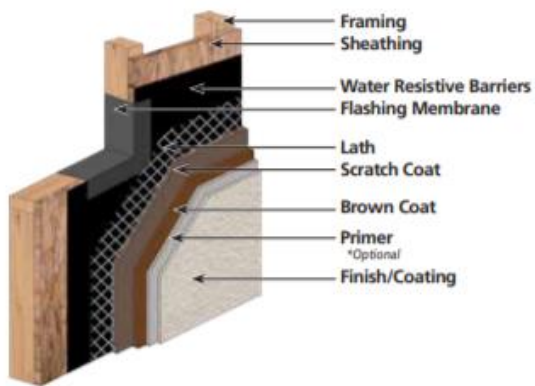
Code Approvals	IBC Section 2512 IRC Section R703.6.2
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System Notes	<ul style="list-style-type: none"> - Stucco is a non-structural cladding. It depends on the substrate wall for support and attachment. Substrate construction must resist all design loads. - Sheathing attachment to framing must resist design negative windloads; loads are transferred to the framing. Appropriate safety factors must be applied. - All penetrations & non-draining terminations of the system must be made weather-tight. - Armourwall 300 stucco systems can be installed with lath or direct applied over CMU. When direct applied over CMU, Parex WeatherDry is installed over the brown coat prior to application of the finish. See Parex USA Tech Bulletin TB029.
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Armourwall Stucco Systems:

- Advanced performance, quality controlled stucco systems
- Maximize energy efficiency with Continuous Insulation (CI)

Armourwall



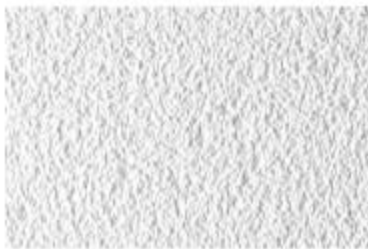
- Designed for use over framed construction when a standard system is desired.
- This system is used when an air barrier is not required.

PAREX®

DPR Acrylic Finish



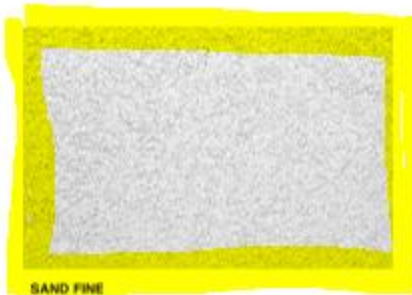
SWIRL FINE



SAND STONE



SWIRL COARSE



SAND FINE



MULTI TEXTURE



SAND COARSE



SAND SMOOTH

DESCRIPTION:

- 100% acrylic-based textured finish
- Dirt Pick-up Resistance (DPR): The surface of the finish hardens and does not soften again under heat. The non-tacky surface provides high resistance to accumulation of dirt, mold, and pollutants.
- Integrally colored with high-quality pigments
- Exceeds EIMA recommendations

USES:

Exterior or interior finish coat over:

- Parex Exterior Insulation and Finish Systems
- Properly prepared masonry, stucco, and concrete surfaces
- Interior application over drywall, plaster, or properly prepared masonry or concrete

COMPOSITION:

- Binder base: 100 % acrylic polymer with surface-hardening property.
- Aggregate: Pure crushed marble, rust-free.
- Water-based: VOC-compliant
- Pigment base: Titanium dioxide.
- Color: Parex standard colors or tinted to desired custom color.

Note:

"The Plus" Advantage can be added to any Parex finish or coating. "The Plus" provides additional protection against mildew and algae growth.

Finishes can be silicone-enhanced to improve the product performance against dirt pick-up and pollution.



Roofing:

“Tesla” Shingles
(See attached Specs)



15" 45"

Solar Roof Specs

Tile Warranty 25 years	Hail Rating ANSI FM 4473 Class 3
Power Warranty 25 years	Roof Pitch 2:12 to 20:12
Weatherization Warranty 25 years	Inverter Power 3.8kW / 7.6kW 97.5% efficiency
Wind Rating ASTM D3161 Class F	Inverter Dimensions 26" x 16" x 6"
Fire Rating Class A (highest rating)	Inverter Warranty 12.5 years





Tesla Shingle Roofing Example Installation in Progress

The Tesla Shingle effectively mimics the look of very large shingled black slate:



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Exterior Trim:

Composite trim, moldings & columns by Versatex for all exterior profiles.



ABOUT US

VERSATEX MAKES TRIM SMARTER

VERSATEX is created from cellular PVC, making it moisture and insect resistant while still featuring the real cedar look and woodworking characteristics a fine builder or craftsman desires. No more warping, cupping, or splitting – just a Trimboard with high aesthetic value backed by a lifetime warranty.

As a company, VERSATEX is a proven leader with an unmatched service platform and best-in-class product quality. Our focus is the cellular PVC trim market, and our strength is our experience and flexibility to continually introduce innovative solutions for builders, contractors and architects. We place a high value on listening to our customers and reacting to their needs.

WE'RE RIGHT THERE WITH YOU

Download our apps and keeps us by your side!

Our **Contractor Handbook App** provides an electronic easy-to-reference version of our Contractor Handbook, as well as links to technical documents, drawings, inspiration, and more.

Our **Premier Builder App** allows builders and contractors to earn points for purchasing VERSATEX products from our stocking dealers. Points can be redeemed for prizes, and lifetime point earnings qualify you for escalating status perks.

Learn more at versatex.com/premier

VERSATEX
PREMIER
EARN SMARTER.

Available on the App Store and Google Play™



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Stealth™ **VERSATEX** TRIM SYSTEM

STEALTH WINDOW & DOOR SURROUNDS

Nominal Sizes	Length and Finish	
	Smooth	Timber Ridge
	18'	18'
5/4" x 4"	•	•
5/4" x 6"	•	•
5/4" x 8" (Standard Stealth Only)	•	•

- All sizes available in Standard Stealth, Stealth with Flange Slot, & Trim with Flange Slot except where noted
- Custom lengths & widths available in "Smartpack" quantities



STEALTH CORNERS

Nominal Sizes	Length and Finish			
	Smooth		Timber Ridge	
	10'	20'	10'	20'
5/4" x 4"	•	•	•	•
5/4" x 6"	•	•	•	•
5/4" x 8"	•			

- Custom widths up to 10" wide corners available in "UNIT" quantities
- Special 12" & 22" long corners available in "UNIT" quantities; 4" and 6" corners at 10' and 20' lengths available in "Smartpack" quantities



STEALTH SKIRTBOARD

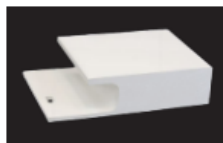
Nominal Sizes	Length and Finish	
	Smooth	Timber Ridge
	18'	18'
1" x 8"	•	•
1" x 10"	•	•
5/4" x 6"	•	•
5/4" x 8"	•	•

- Custom lengths and widths available in "Smartpack" quantities



STEALTH HIDDEN FASTENER PROFILES

Stealth Casing with J	18'	Stealth HF Corner	20'
1 1/8" x 3 1/2"	•	5/4" x 4"	•
1 1/8" x 5 1/2"	•	1 1/8" x 5 1/2"	•



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Canvas Series

BEAUTY OF WOOD.
DURABILITY OF PVC.

Profile	Actual Width	Length	
WP4	3/4" X 5 1/2"	16'	18'
Stealth Bead	1/2" X 6"		*
4" Crown	9/16" X 3 5/8"	*	
Bed Mould	9/16" X 3/4"	*	

- All profiles available in all 5 finishes
- Color-matched touch-up kit to be included from distributor
- Handling guides available at versatex.com/canvas-series

SOFFIT SYSTEM

Actual Sizes	Smooth Only	
	Vented	Solid
1/2" x 12"	*	*
1/2" x 16"	*	*

- Custom lengths and widths available in "Smartpack" quantities



SOFFIT ACCESSORIES

Profile	Nominal Sizes	Length and Finish	
		Smooth	Timber Ridge
Notched Fascia	1" x 8"	*	*
Frieze	5/4" x 6"	*	*

- Custom lengths and widths available in "Smartpack" quantities

VERSAWRAP

- CLASSIC
- RAISED PANEL
- TAPERED

CLASSIC & RAISED PANEL		ACCENT WRAPS		POST CAPS
Nominal Sizes	Actual Inside Dimension	10"	10'	SIZES
4" X 4" X 8'6"	3 3/4" X 3 3/4" X 8'6"	*	*	*
4" X 4" X 10'	3 3/4" X 3 3/4" X 10'	*	*	*
6" X 6" X 8'6"	5 3/4" X 5 3/4" X 8'6"	*		*
6" X 6" X 10'	5 3/4" X 5 3/4" X 10'	*		*
8" X 8" X 8'6"	8 1/2" X 8 1/2" X 8'6"	*		
8" X 8" X 10'	8 1/2" X 8 1/2" X 10'	*		
12" X 12" X 12'	9 3/4" X 9 3/4" X 12'			

- Classic sized available in Smooth or Timber Ridge
- 4", 6" and 8" wraps made from actual 1/2" thick VERSATEX; Add 1" to inside dimensions to calculate outside measurements. 12" wraps are an actual 3/4" thick.
- Raised panels start 16 1/2" from bottom with railing gap from 30 3/4" to 38 1/2". Clearance above the top panel measures 8 3/4".
- 10" Classic wraps and 6" X 6" X 10' Accent Wraps available (minimum quantities apply)

FOUR-PIECE TAPERED WRAP

Actual Sizes	5'	6'
12" base / 8" cap	*	*
16" base / 12" cap	*	*

- Includes skirt and squaring corners (see below).

MOULDING ACCESSORIES

MOULDING KITS

- Bed Moulding Kit
- Crown Moulding Kit
- Base Cap Moulding Kit

XL for around Accent Wrap

- Bed Moulding Kit XL
- Crown Moulding Kit XL

- All Moulding Kits are pre-cut to length, mitered, and sold in bags with Hoffman Dovetail Connectors for easy assembly and a snug fit around the outside dimension of our 4", 6", or 8" VERSAWRAP.



TAPERED

- Squaring corners and 3 1/2" decorative skirt pieces are included with each Tapered column wrap for the cap and base to fasten and accessorize for a craftsman aesthetic.



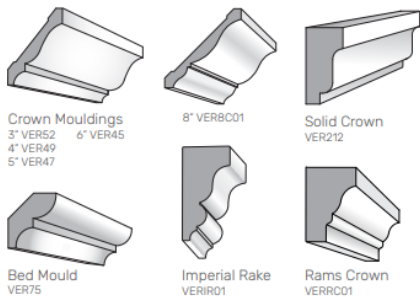
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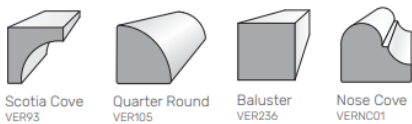
MOULDINGS

All mouldings sold in 16' lengths except the following:
Brick Mould, J-Channel Brickmould, and Double Hung Sill
sold at 18' lengths; T-Mould sold at 12' lengths.

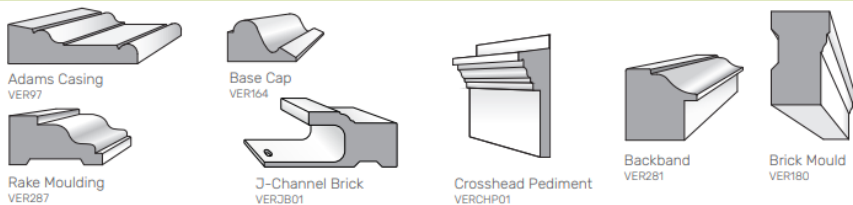
CROWN PROFILES



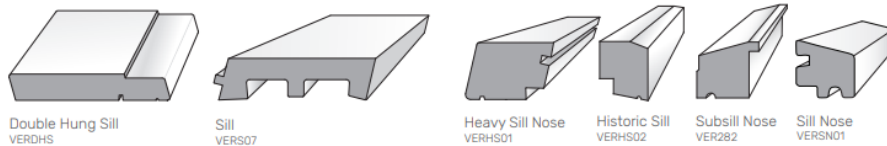
COVE PROFILES



CASING PROFILES



SILL PROFILES



TRIMBOARD

Thickness	Width
Nominal	2" 3" 4" 5" 6" 8" 10" 12" 16"
5/8"	• • • • • • • • • •
1"	• • • • • • • • • •
5/4"	• • • • • • • • • •
5/4" (smooth only)	• • • • • • • • • •
8/4" (smooth only)	• • • • • • • • • •

• 5/8", 1" and 5/4" available in standard 12', 18' and 20' lengths;
• 5/4" and 8/4" available in standard 18' lengths;
• Custom lengths & widths available in "Smartpack" quantities;
• Most thicknesses can be ordered reversible - Smooth/Timber
Ridge or Smooth/Smooth
• 8/4" Trimboard subject to extended lead times
• Sizes available in **PEELNEAT** with a protective film applied.
Check with your local retailer for availability

SHEET

Thickness	Width and Length
Actual	4x8' 4x10' 4x12' 4x18' 4x20'
1/4"	• • • • •
3/8"	• • • • •
1/2"	• • • • •
5/8"	• • • • •
3/4"	• • • • •
1"	• • • • •
1 1/4"	• • • • •
1 1/2"	• • • • •

• Custom lengths & widths available in "Smartpack" quantities
• 1 1/2" Sheet subject to extended lead times
• 5' wide Sheets available in certain sizes & special quantities
• Sizes also available in Timber Ridge

CORNERS

Thickness	Length and Finish
	Smooth Timber Ridge
Nominal	10' 20' 22' 10' 20'
1" x 6"	• • • • •
5/4" x 4"	• • • • •
5/4" x 6"	• • • • •
5/4" x 8"	• • • • •

• Custom widths up to 10" wide corners available in "UNIT" quantities
• Special 12' & 22' long corners available in "UNIT" quantities;
• 10' and 20' long corners available in "Smartpack" quantities
• Stealth Corners also available inside brochure

T&G PROFILES

Thickness & Width	Length
Nominal	8' 10' 18'
1/2" x 4" (Regular Beadboard)	•
1/2" x 4" (Stealth Beadboard)	•
1/2" x 6" (Regular Beadboard)	•
1/2" x 6" (Stealth Beadboard)	•
1" x 6" (Regular Beadboard)	•
1/2" x 48" (Beaded Sheet)	• •
1" x 6" (wP4/Nickel Gap)	•
1" x 6" (Shiplap)	•
1" x 8" (Shiplap)	•

• Special 1" x 4" x 18" Nominal Stealth and Regular Beadboard available in "UNIT" quantities

Exterior Trim:

'Haddonstone' cast limestone for all window and door surrounds and corner pilasters

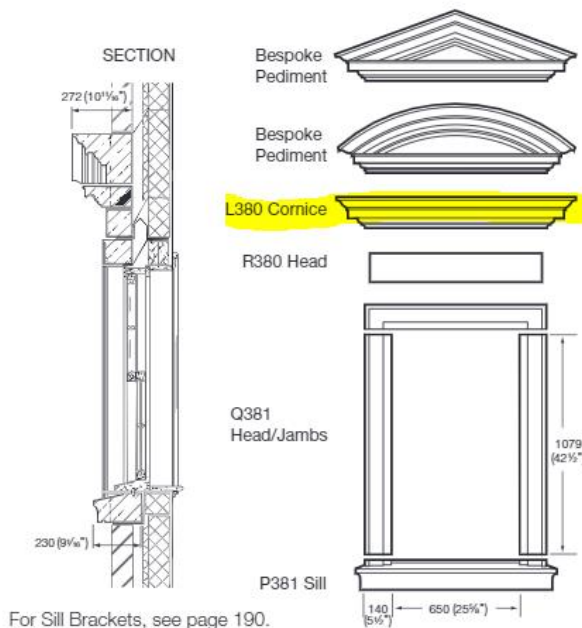
ARCHITECTURAL STONEMWORK WINDOW SURROUNDS

Haddonstone has a range of classical window surrounds which can be tailored to suit individual requirements. These surrounds, based on the Tuscan style, can be used for new build or refurbishment.

Haddonstone will always continue to create custom-made surrounds, either to an architect's drawing or to match an existing design. Please contact your nearest Technical Department for further information.

Window Surrounds also available in TecLite, see page 192. 

We strongly recommend that you refer to Eurocode 6 and PD 6697: 2010.

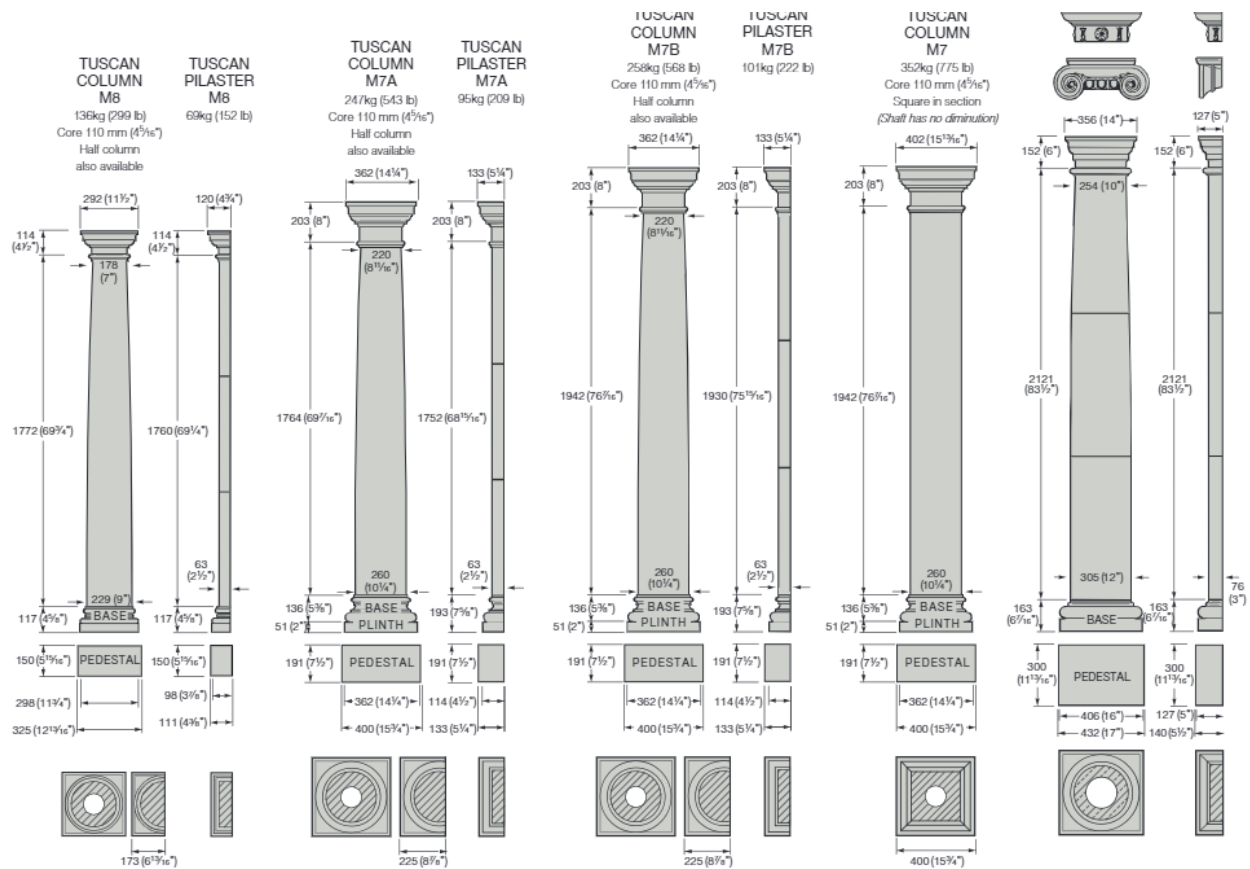


Window Surround with bespoke Pediment



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Custom-made products are available on request.

General note: Column dimensions exclude joints. Allow 6mm (1/4") for joints.

A.TESA

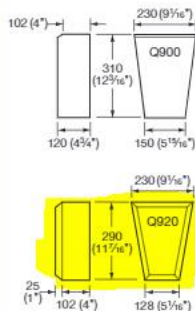
ARCHITECTURE



Q920 Keystone

Keystones

Custom keystones also available. Please ask for details.



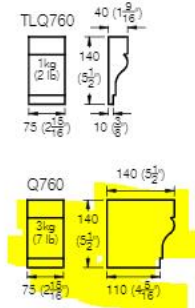
TecLite Keystone TLQ920. Thickness 25mm (1\"/>



R3 Head with P2 Sill

Sill Bracket

For use with standard window surrounds and window sills.



Window Sills

Our three standard designs suit one or two-brick course heights in a normal cavity-wall situation. They are available in the following lengths to suit British Standard brick openings:

P1		P2/P9	
460mm (18 ¹ / ₈)	1248mm (49 ⁷ / ₈)*	460mm (18 ¹ / ₈)	1248mm (49 ⁷ / ₈)
685mm (26 ¹ / ₁₆)	1360mm (53 ¹ / ₁₆)*	685mm (26 ¹ / ₁₆)	1360mm (53 ¹ / ₁₆)*
910mm (35 ³ / ₁₆)	1585mm (62 ³ / ₁₆)*	910mm (35 ³ / ₁₆)	1585mm (62 ³ / ₁₆)*
1135mm (44 ¹ / ₁₆)*	1810mm (71 ¹ / ₄)*	1135mm (44 ¹ / ₁₆)*	1810mm (71 ¹ / ₄)*

Note: Dimensions exclude stooling - maximum 100mm (3 1/8\"/>

*Only supplied as a two-piece sill.

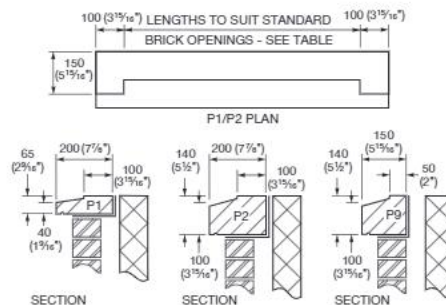
**One-piece only when supplied without stools.

Please note that other sill sizes can be manufactured to order.

We strongly recommend that you refer to Eurocode 6 and PD 6697: 2010, and our Tech Sheet M90/TS for installation recommendations.

TS Tech Sheet No. M90

WINDOW SILLS



Exterior Stone:

'Fond Du Lac' real Stone Veneer

FOND DU LAC

Product Information & Data Sheet



Fond du Lac is a classic grey tone castle rock style real stone veneer. The pieces are cut from natural Wisconsin quarried dolomitic limestone known for its durability. The neutral colored stone and large pieces lend themselves to large scale projects as this stately stone does not look busy on large walls. Each individual piece of stone that makes up Fond du Lac has been split with a hydraulic press on all four sides to create the clean rectangles. The split or cracked edges retain a rustic or natural element to the finished look as opposed to our sawed height or dimensional style stone.

Flats Dimensions

Heights: 2" - 12"
Lengths: 4" - 18"
Depths: ¾" - 1-½"
Weight: 13 - 15 pounds

Corner Dimensions

Angle: 90 degrees
Heights: 2" - 8"
Lengths: 3"-5" x 8"-12"
Depths: ¾" - 1-½"
Weight: 20 pounds per linear foot

Stone Characteristics

Colors: Grey Tones
Style: Castle Rock
Finish: Natural

Packaging

Sold as loose pieces.
Flat Pallet: 100 square feet
Corner Pallet: 50 linear feet

Applications

This natural stone veneer is approved for all applications due to its high compressive strength and low water absorption. It is well suited for exterior applications with a harsh climate.




LEED® Certification & Energy Efficiency


Using natural stone veneer can contribute to obtaining credits toward your LEED green building certification. The natural material helps improve the energy efficiency of your home or business.

Installation

Natural thin stone veneer installation information is available on our website:

 <https://quarrymill.com/info/technical-resources/>

We have resources to help with everything from mortar joint selection to a full PDF install guide.

 <https://quarrymill.com/naturalstoneveneer/fond-du-lac/>

Natural stone varies in color, shape and veining from piece to piece. Photos used are meant to be as accurate as possible in depicting the product. Photos of stone are meant to give a general idea but should not be used for exact color matching.

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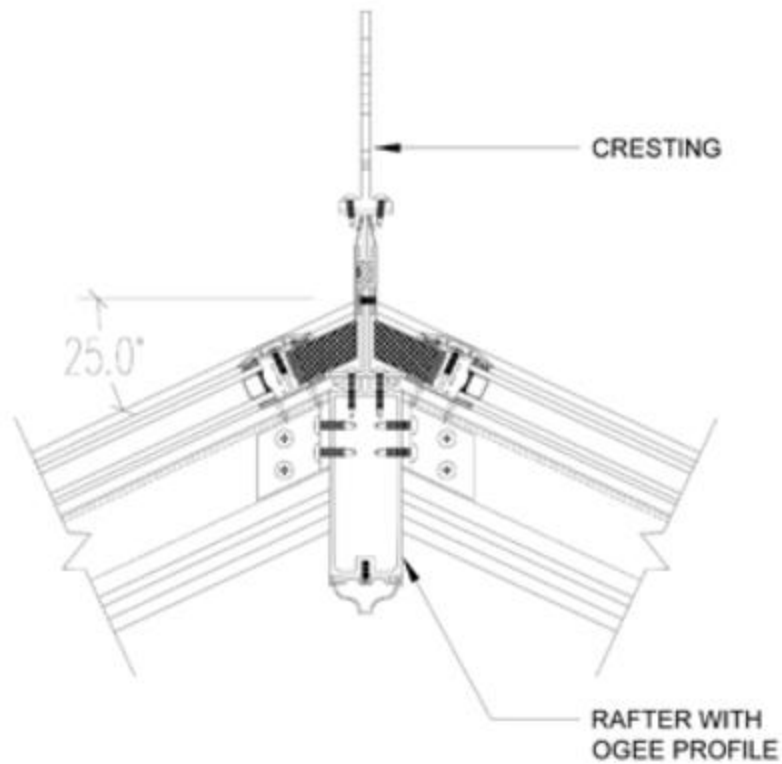
Exterior Roof Window:

Town & Country Glass roof window



A.TESA

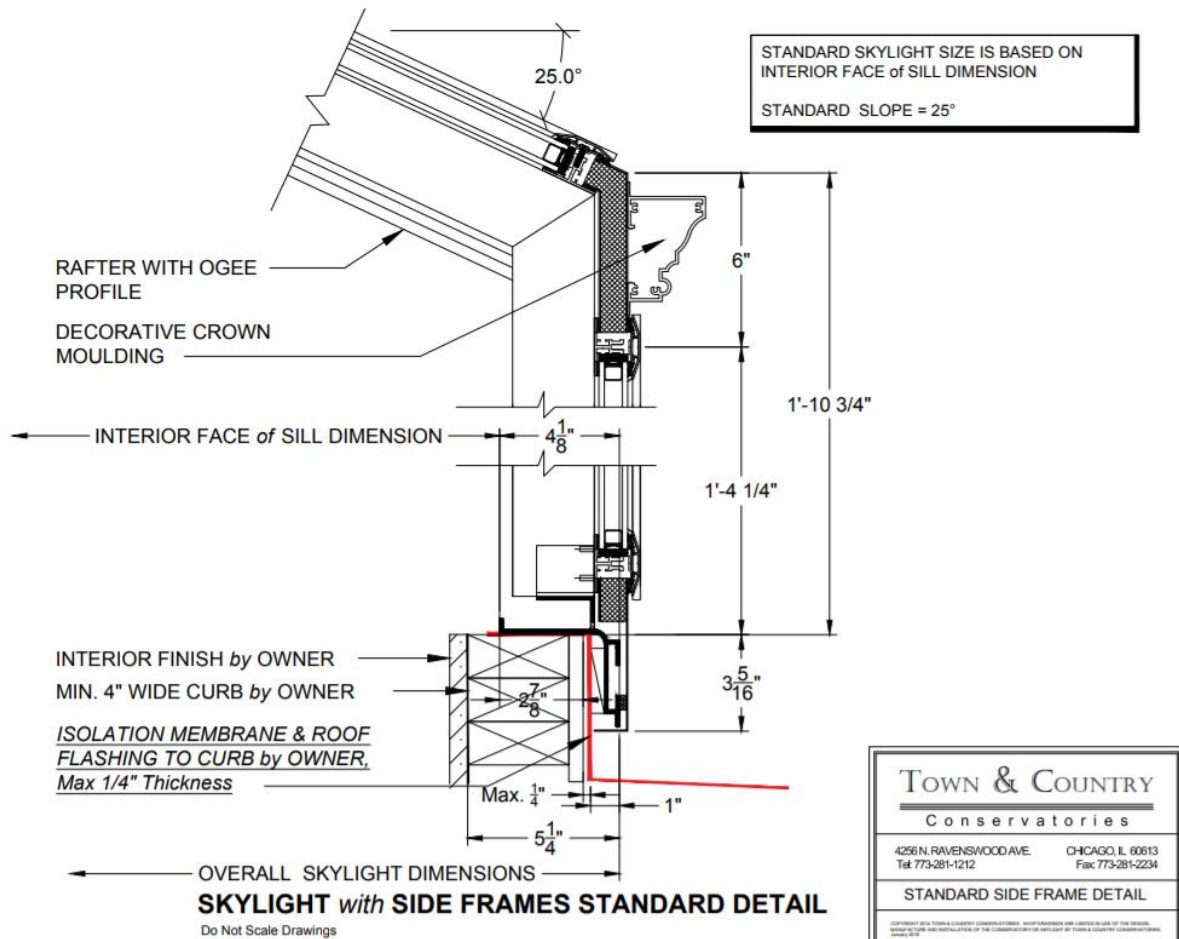
ARCHITECTURE



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Historic District Commission – Application Addendum



54 Hammersmith Drive
2 ½ Story Single Family, Aramli Residence

Proposed Work Requests to HDC

Five individual proposed work projects are requested for approval. We request each work project to be considered by HDC independent of the others for the purposes of this application :

- 1) Approval for construction of single family residence with pool
- 2) Approval for modifications of historic stone wall for the new residence entrance and driveway
- 3) Approval for repairs to existing historic stone wall for crumbling or leaning areas
- 4) Approval for modification of historic stone wall to add protective stone caps
- 5) Approval for modification historic stone wall to add embedded ornamental fencing in stone caps proposed in #4. **WITHDRAWN**

Proposed Work Requests to HDC

Application Line Item #1

Approval for new construction of single family residence with pool

- Size, scale & massing
- Siting and setback
- Materials and architectural details (see appendix)

Appropriateness of Residence Size & Scale

54 Hammersmith

Proposed residence size: ~12,800 sq. ft living space on 1st and 2nd floor, attic TBD

Proposed residence footprint: ~8,590 sq. ft including 3.5 car attached garage

The proposed residence lands squarely within the Ocean Drive estate district, among many homes of similar and larger size. A limited sample of nearby or abutting similar scale homes include:

• 8,090 Sq. Ft	60 Beacon Hill Rd	Abutting Property
• 7,731 Sq. Ft.	30 Hammersmith Rd	Abutting Property
• 10,473 Sq. Ft.	70 Beacon Hill Rd	0.14 Miles
• 11,783 Sq. Ft	31 Beacon Hill Rd	0.35 Miles
• 13,659 Sq. Ft	36 Beacon Hill Rd	0.33 Miles
• 13,534 Sq. Ft	26 Beacon Hill Rd	0.46 Miles
• 13,164 Sq. Ft	325 Ocean Ave.	1 Mile

Appropriateness of Massing & Architecture

54 Hammersmith

The owner has been a full time resident of Newport for 12 years and maintains tremendous affection for the Newport historic architectural aesthetic. The proposed residence was designed drawing on inspirations and elements from numerous architecturally significant and historic Newport manor homes. These architectural inspirations have been adapted, re-invented and recombined to create a new and uniquely modern yet architecturally familiar Newport home. Inspirations were happily drawn from:

- Beach Mound at 729 Bellevue, built 1897
- Crossways at 101 Ocean Ave, built 1900
- Vernon Court at 492 Bellevue, built 1901
- Bois Doré at 115 Narraganset, built 1927

Massing & Architecture

Beach Mound & Crossways, Thematic Inspirations:



Massing & Architecture

Vernon Court and Bois Doré, Thematic Inspirations:



Appropriateness of Massing & Architecture Rendering of Proposed 54 Hammersmith Rd



Appropriateness of Massing & Architecture Rendering - 54 Hammersmith Rd

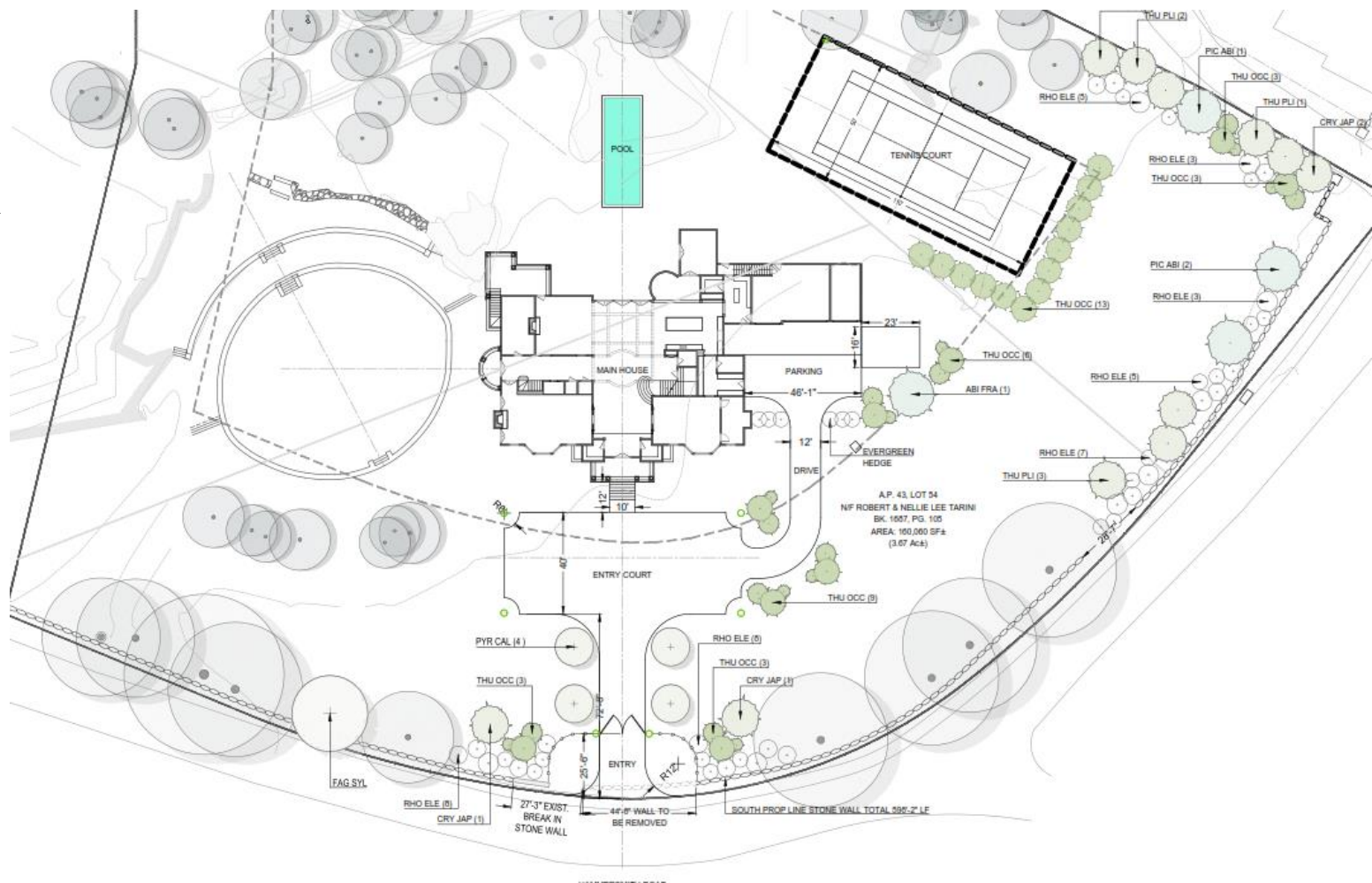


Appropriateness of Massing & Architecture Rendering - 54 Hammersmith Rd

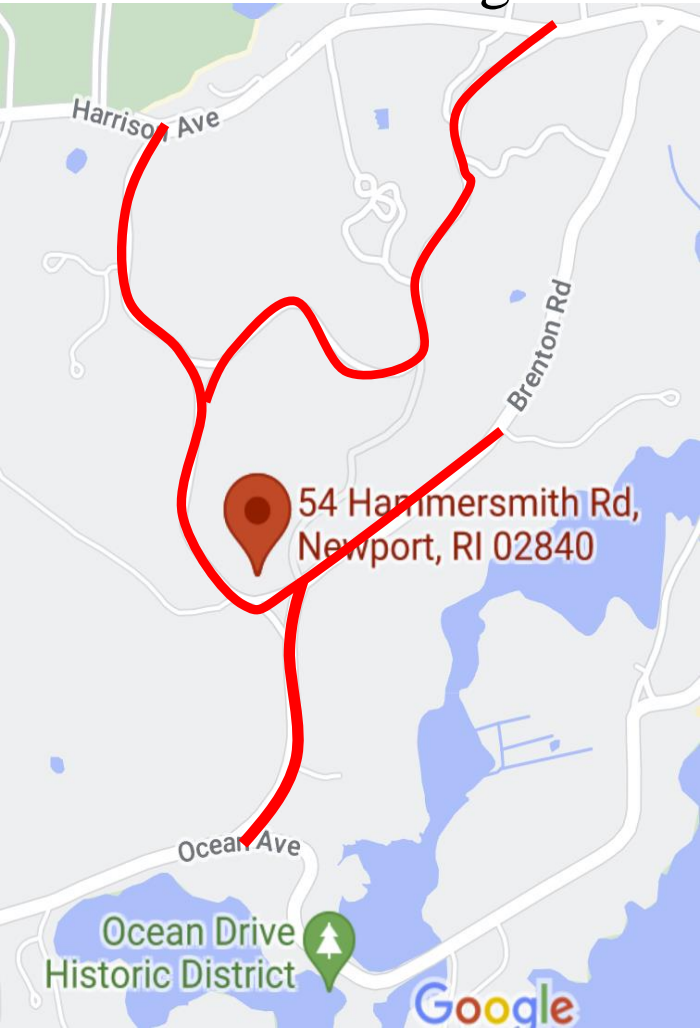


R-160 Zone

- NO ZONING VARIANCES TO BE REQUESTED OR EXPECTED**



Setback study covering most of Beacon Hill Rd, all of Hammersmith Rd and closest points of Brenton Rd (see map red line) shows the setback of the proposed home is above the median setback of the local area, and a further setback than several nearby estate size homes. The setback is greater than 4 out of the 5 closest homes. Source: Newport GIS



Address	Distance from 54 Hammersmith	Setback Per Newport GIS	Estate Sized Home, Living Space, Square Footage
125 Brenton Rd	0	6	
44 Beacon hill Rd	0.7	9	7487
5 Hammersmith Rd	0.5	36	6564
75 Brenton Rd	0.3	41	
63 Hammersmith Rd	0	50	
17 Beacon Hill Rd	1	60	
23 Hammersmith Rd	0.2	68	
20 Beacon Hill Rd	1	75	
31 Beacon hill Rd	0.9	75	11783
283 Ocean Ave	0.2	89	
74 Beacon Hill Rd	0.5	99	
157 Brenton Rd	0.2	111	
146 Brenton Rd	0.2	114	6057
54 Hammersmith Proposed	0	126	12800
30 Hammersmith Rd	0.2	143	8093
70 Beacon hill Rd	0.3	143	10473
58 Beacon Hill Rd	0.4	146	
21 Hammersmith Rd	0.2	215	
26 Beacon Hill Rd	0.9	221	13534
140 Brenton Rd	0.1	235	5232
86 Beacon Hill Rd	0.3	249	6435
88 Brenton Rd	0.3	253	

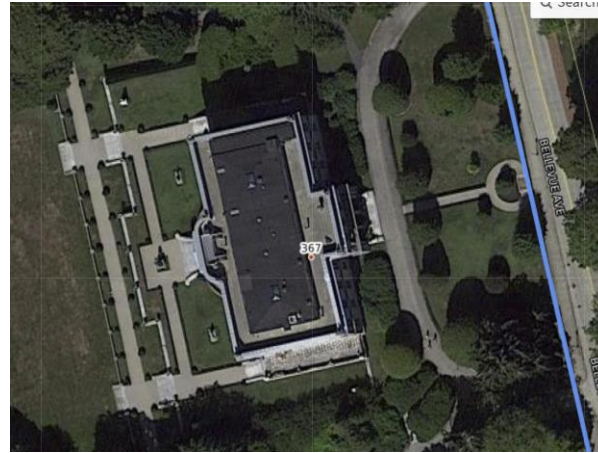
Address	Distance from 54 Hammersmith	Setback Per Newport GIS	Estate Sized Home, Living Space, Square Footage
54 Hammersmith Proposed	0	126	12800
125 Brenton Rd	0	6	
63 Hammersmith Rd	0	50	
140 Brenton Rd	0.1	235	5232
146 Brenton Rd	0.2	114	6057
157 Brenton Rd	0.2	111	
21 Hammersmith Rd	0.2	215	
23 Hammersmith Rd	0.2	68	
283 Ocean Ave	0.2	89	
30 Hammersmith Rd	0.2	143	8093
70 Beacon hill Rd	0.3	143	10473
75 Brenton Rd	0.3	41	
86 Beacon Hill Rd	0.3	249	6435
88 Brenton Rd	0.3	253	
58 Beacon Hill Rd	0.4	146	
5 Hammersmith Rd	0.5	36	6564
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44 Beacon hill Rd	0.7	9	7487
26 Beacon Hill Rd	0.9	221	13534
31 Beacon hill Rd	0.9	75	11783
17 Beacon Hill Rd	1	60	
20 Beacon Hill Rd	1	75	

Regarding siting of the proposed home 20' from the existing Arthur Curtiss James historic rose garden landscape feature (stone circle), there is abundant precedence for historic Newport landscapes and formal gardens to be connected to and abut the historic homes on the property:

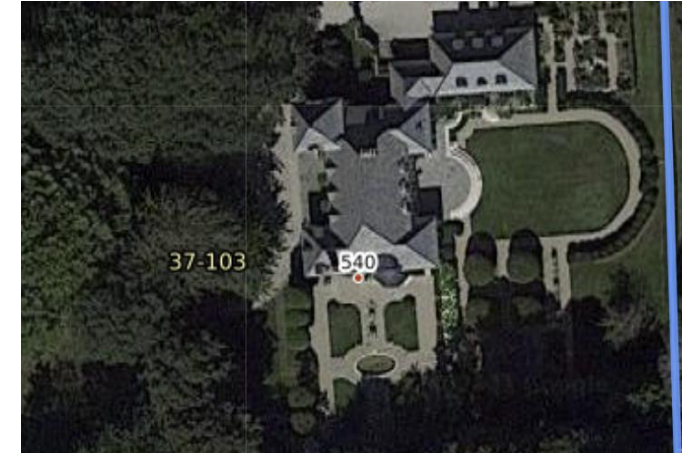
304 Bellevue



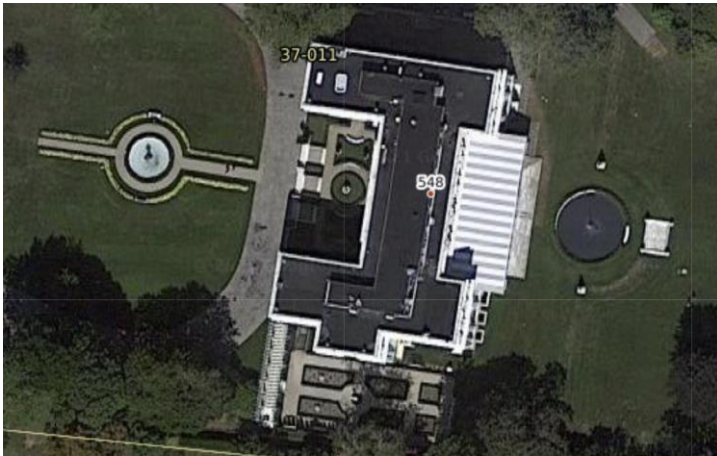
367 Bellevue



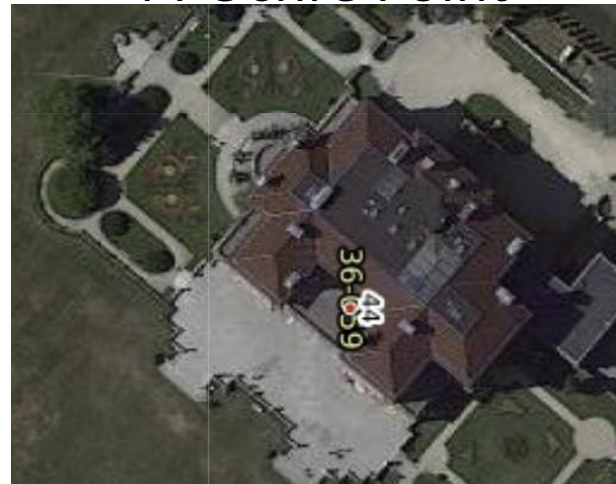
540 Bellevue



548 Bellevue



44 Ochre Point

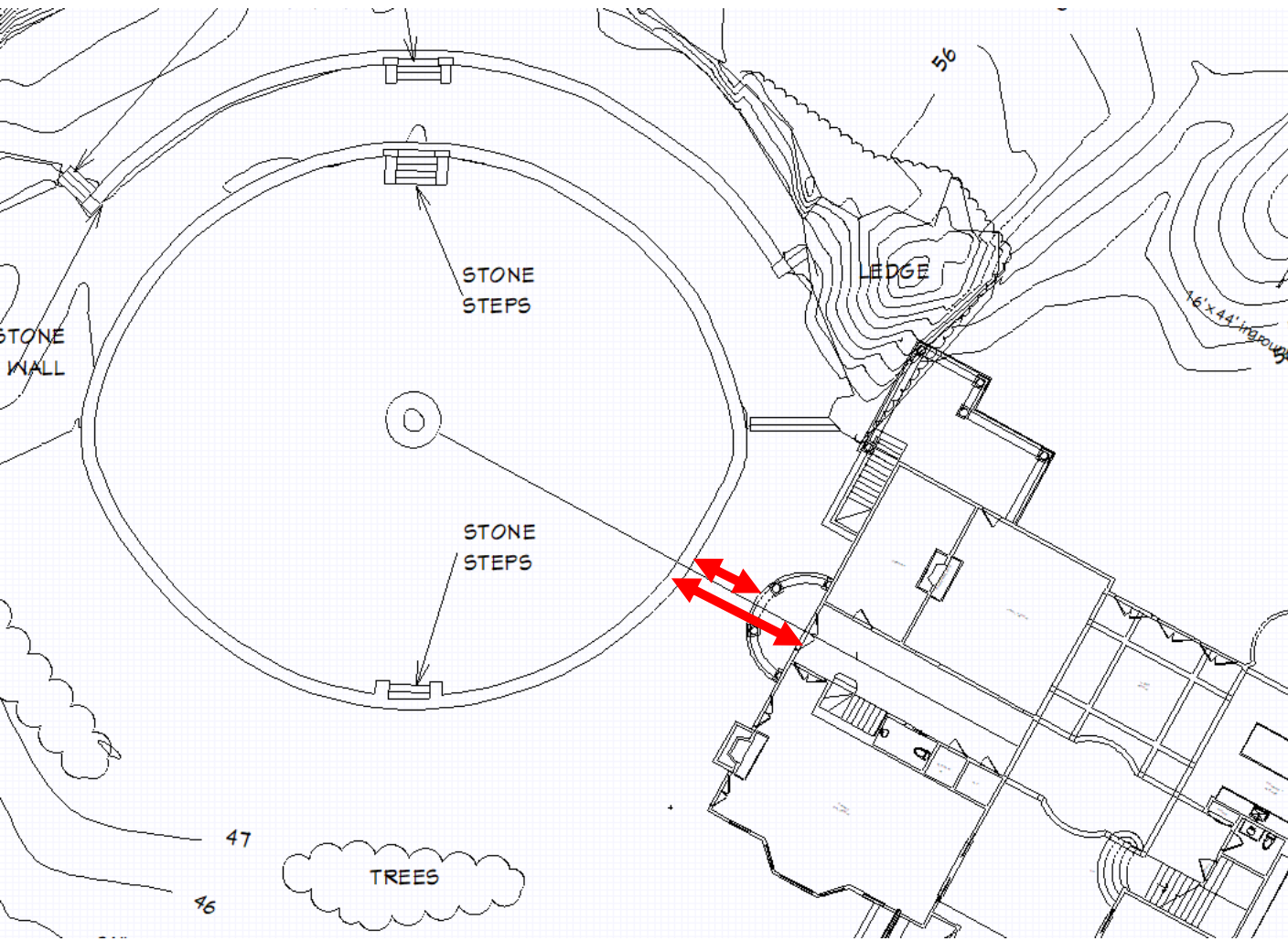


31 Beacon Hill Rd



Regarding siting of the home within 20' of the historic rose garden landscape feature (stone circle), there is zero element of the proposed home siting that would require disturbance, demolition, removal or damage to the existing historic stone circle landscape retaining walls.

Proposed home siting is shown below in relation to existing site conditions:

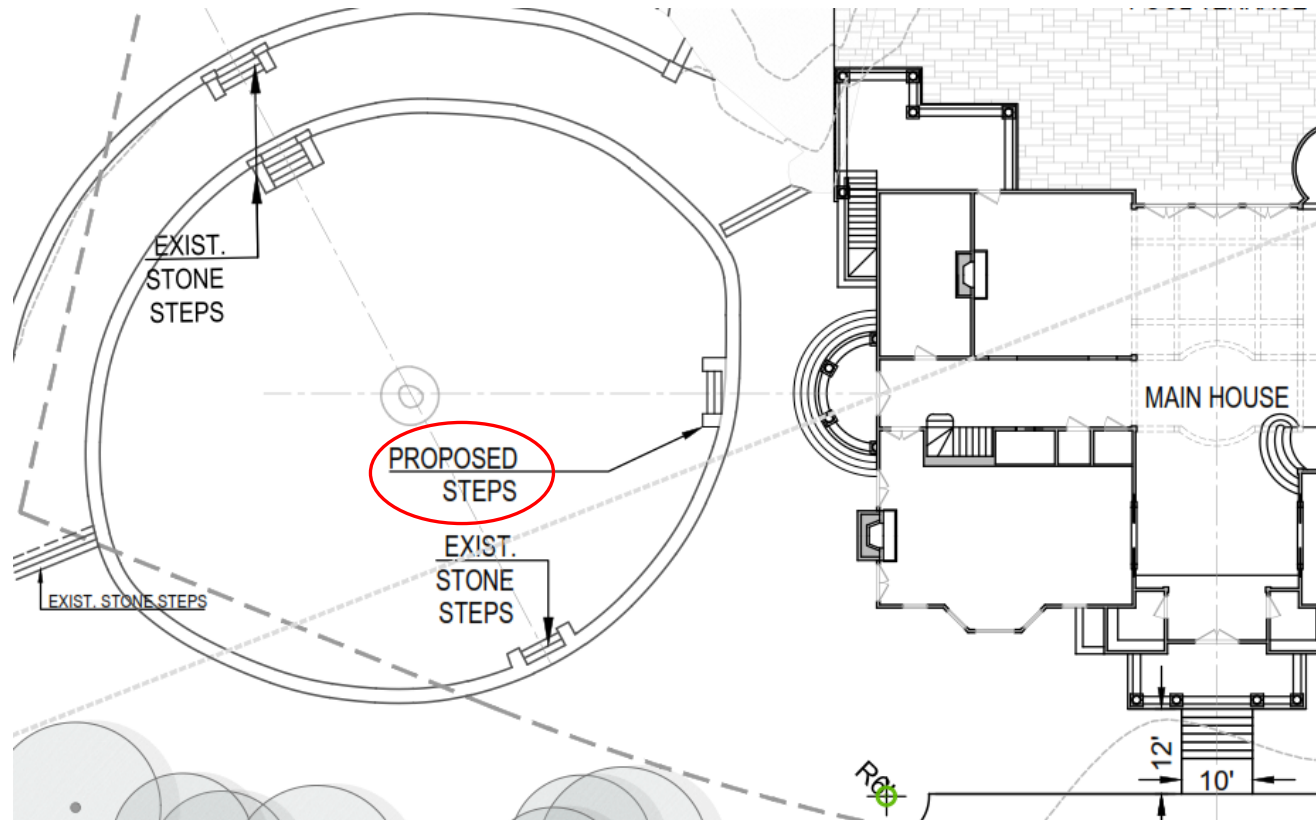


Closest siting distance from edge of west porch to stone retaining wall: 11'

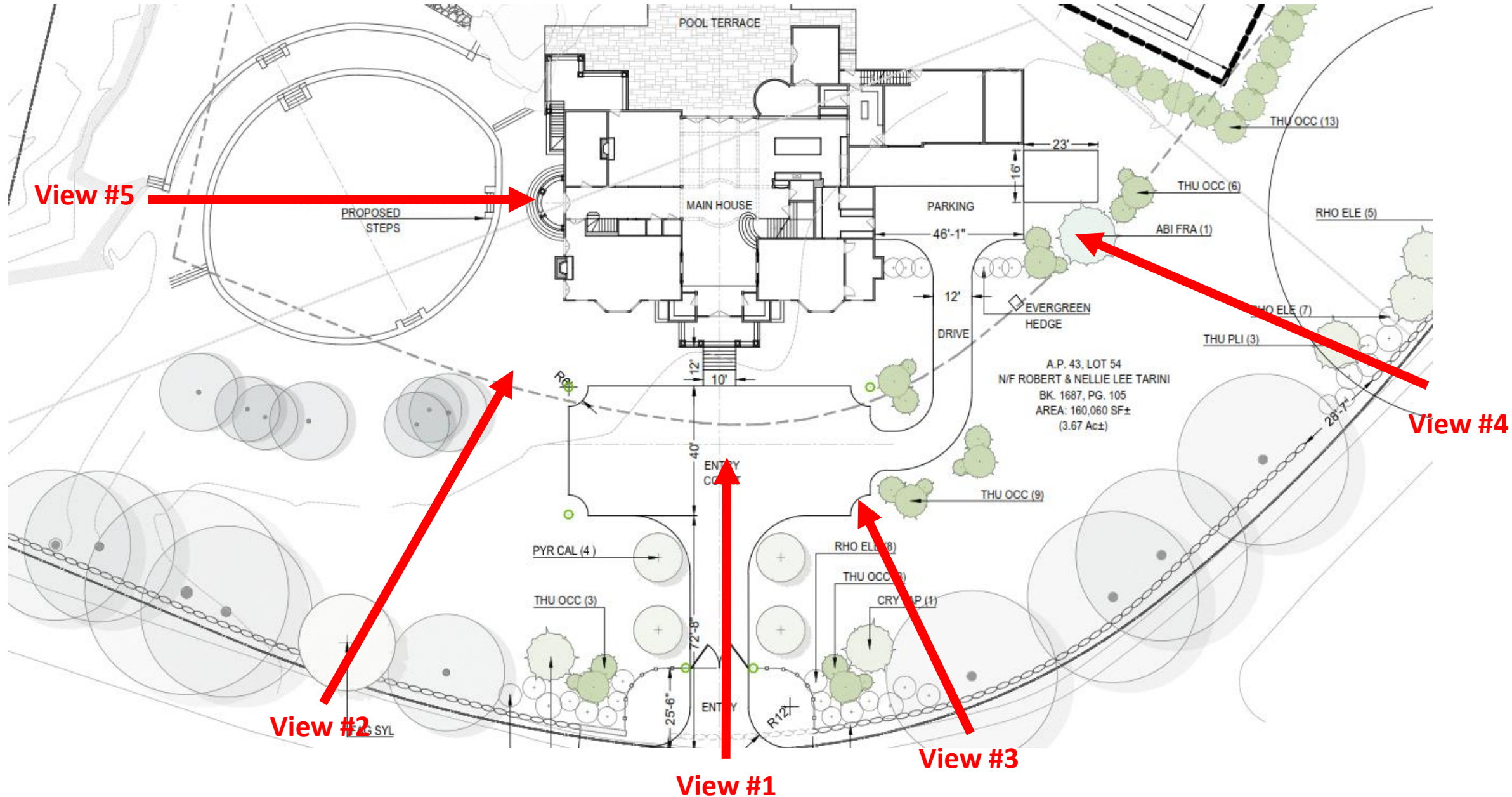
Closest siting distance from main mass of the home and basement foundation wall to the stone retaining wall: 20'

The home foundation wall will require a construction excavation dig to extend 10' past the foundation itself, leaving a minimum of 10' of undisturbed earth to support the closest sections of stone retaining wall during construction.

Rather than remove a small portion of the stone circle retaining wall closest to the home, to enable ease of entry (per original application), the revised siting plan proposes new steps to be added to the existing retaining walls in the location noted, allowing a direct step-down walk-in path from the home into the stone circle. The steps shall be built in the same aesthetic as the existing stone steps of the circle and utilize on-site stone:



Rendering Camera Viewpoints of Proposed Home Siting



View #1: From street, centered on proposed driveway entrance



View #2: From street, west of proposed entrance, view of stone circle



View #3: From street, east of proposed entrance



View #5: From yard, east of stone circle centered on west porch of house



View #4: From street, east of driveway at second opening in wall



Plan to Protect Historic Stone Wall at South Property Line During Home Construction

- Ingress/egress openings in the wall shall have high-visibility barriers placed such that heavy equipment and trucks will not accidentally run into and damage the wall.
- No construction equipment, vehicles or materials requiring forklifts shall be stored or parked within 20 feet of the wall
- All on-site contractors shall be notified of the historic nature of the wall and trained on proper procedures to avoid damage
- Signage shall be posted around the wall warning onsite contractors not to modify, damage or disturb the wall

Proposed Work Requests to HDC

Application Line Item #2

Approval for modifications of historic stone wall of a new opening for the proposed residence driveway

- Historic Stone wall existing details and modification approach
- Net impact to historic stone wall with new opening
- HDC precedence for approving new openings in historic walls

Stone Wall Along Hammersmith Rd.

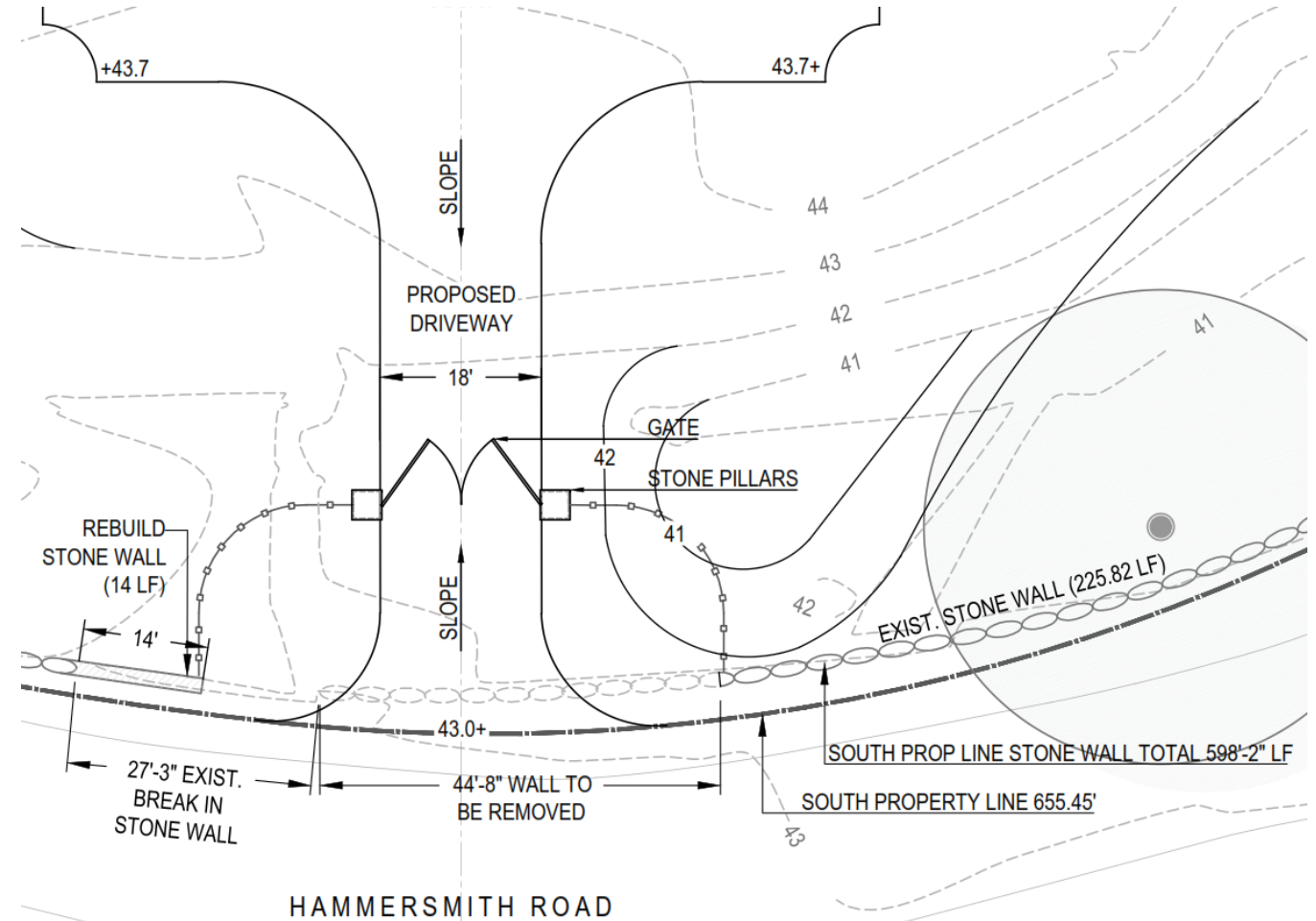


Abutting the historic Arthur Curtiss James estate Gate Wall and running the length of 54 Hammersmith road along the southerly plot line is a shorter stacked stone wall ranging from 2.5' to 3' tall, with two pre-existing openings made by a prior owner ~12 years ago. A drive through Beacon Hill Rd – Hammersmith Rd reveals more than 1 linear mile of stone walls of various types along the roads.

Stone Wall, Hammersmith – Modifications for Residence Entrance

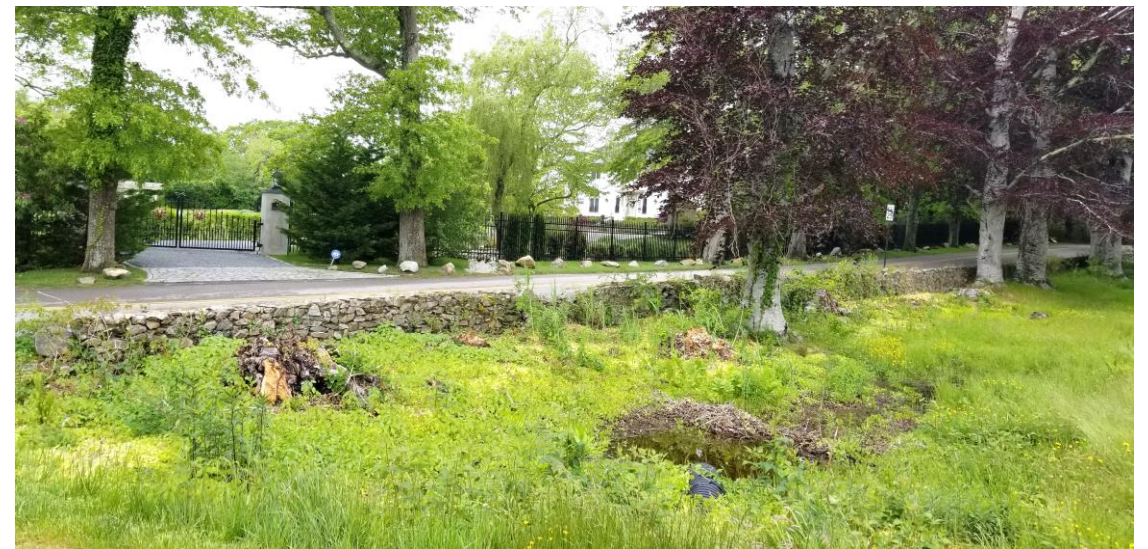
The south property line is 655', with a total length of 598' of existing historic stone wall, traveling 91% the length of the entire south property line. Removal and relocation of small sections of the stone wall are proposed to make way for the proposed driveway to the residence.

This includes removal of a 30'8" section of wall and relocation of a 14' wall section to an existing gap in the wall created by a prior owner ~12 years ago, resulting in the net reduction of the existing wall of 30'8" total length. This equates to net removal of only 5% of the total length of 598' stone wall for placement of the residence driveway.



Stone Wall, Hammersmith – Modifications for Residence Entrance

In addition to layout aesthetics, the residence driveway was proposed to NOT align perfectly with the pre-existing opening in wall made by a prior owner in order to save one of the historic European Beach trees lining the south property line. Due to natural land slope around the tree, substantial ponding of water has been occurring. Per arborist evaluation, the tree is already unhealthy due to the water ponding. Placement of the driveway immediately adjacent to this area (lining up perfectly with existing opening) will dramatically exacerbate this water ponding issue and likely kill the historic European Beach tree.



Proposed Work Requests to HDC

Application Line Item #3

Approval for repairs to existing historic stone walls for crumbling, leaning or broken areas

- Historic Stone wall details and means of construction

Historic Stone Wall Features – The Gate Wall

As part of the original Arthur Curtiss James estate, the vacant plot at 54 Hammersmith contains two distinct historic stone wall features running along the south property line. One of these historic stone wall features, a portion of the original rear gate of the Arthur Curtiss James estate standing at over 8.5' tall, is a mortared and capped stacked stone wall in generally good condition on the plot at the intersection of Hammersmith and Brenton Road. This wall shall be restored without modification to its look, form or features.

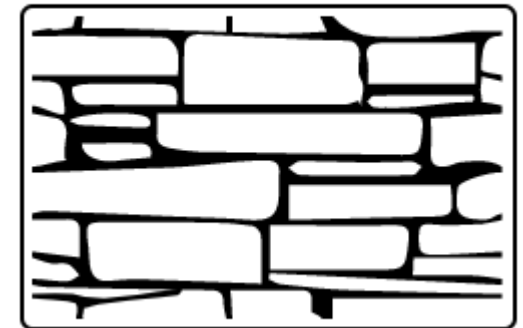


The Gate Wall – Additional Documentation



The Gate Wall contains mortared joints and is of a “ledgestone” style construction using stones of similar color. The wall is in remarkably good condition for its age. Some minor repairs are necessary and it is clear that prior mortar joint repairs have been performed on the wall.

Ledgestone



The Gate Wall – Repair Plan

- The wall shall be cleaned of vegetation, moss and overgrowth and shall have closeup high resolution photographs taken every 10 feet prior to any repair, documenting the placement of every stone and its pre-existing conditions.
- Not a single stone shall be replaced. Not a single stone that is not original to the wall shall be added.
- Cracked/open mortar joints and loose stones shall be repaired using the mortar joint techniques pre-existing in the wall.
- Typical example areas for repair are shown

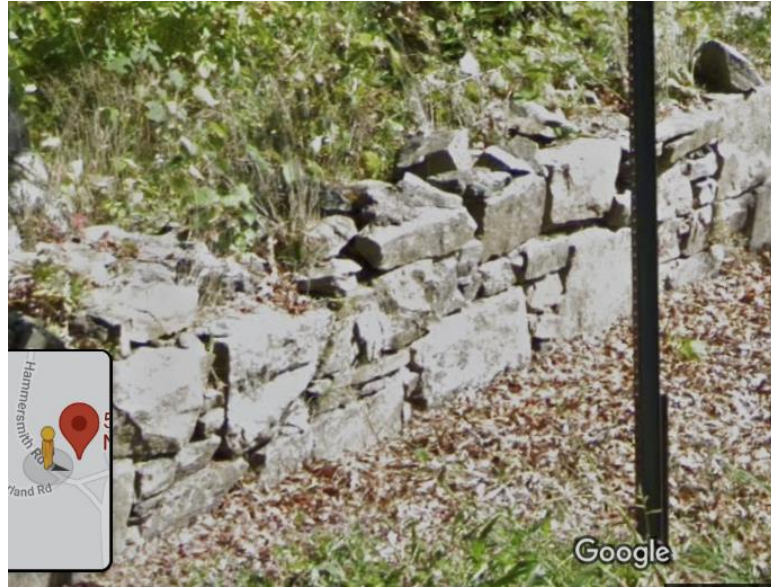


Low Stone Wall Along Hammersmith Rd.



Abutting the historic Arthur Curtiss James estate Gate Wall and running the length of 54 Hammersmith road along the southerly plot line is a shorter stacked stone wall ranging from 2.5' to 3' tall, with two pre-existing openings made by a prior owner ~12 years ago. A drive through Beacon Hill Rd – Hammersmith Rd reveals more than 1 linear mile of stone walls of various types along the roads.

Low Stone Wall Along Hammersmith Rd.



This wall is in poor condition with various sections crumbling or leaning unstably. It is estimated that 40% of this wall will require some rebuilding or repair. The stacked stones show no mortar joints on the sides, but are mortared on the top and interior sections. All repairs/rebuilds shall maintain the original construction approach and utilize existing wall stone still available on-site from prior owners demolition.

Low Stone Wall Along Hammersmith Rd. Documentation and Means of Original Construction



- Mixed sizes and colors of field stone in irregular mosaic pattern, largest stones are 24” wide, smallest are ~4” wide.
- Interior construction uses mortar for joining stones (lower right photo – broken end of wall)
- No mortar joints show on vertical outside wall faces.
- Top of wall was fully mortared as a cap (upper right)



Low Stone Wall Along Hammersmith Rd.

Repair Plan

- Prior to repair, the entire wall shall be documented with close-up high resolution photographs taken every 10' with markers indicating location.
- The crumbling or unstably leaning sections of the wall shall be rebuilt using the original stone already in the wall.
- All repair/rebuilt sections shall be made using original wall construction techniques
- Several large piles of wall stone are available on site from prior owner's demolition (see photo), any stones requiring replacement, or additional stones used shall have been original to the wall.



Low Stone Wall Along Hammersmith – Existing Opening #2



The other existing opening in the stone wall (~29') created by a prior owner approximately 12 years ago has wall ends are broken and crumbling, the ends will be re-built and terminated with gate posts of identical stone construction to the wall, using stone from the wall left on-site from prior owner, of height no more than 3' above the existing wall top.



Proposed Work Requests to HDC

Application Line Items #4, #5

- 4) Approval for modification of historic stone wall to add protective stone caps
- 5) Approval for modification historic stone wall to add embedded ornamental fencing in stone caps proposed in #4. **WITHDRAWN**

Stone Wall Along Hammersmith – Additional Protection & Fencing

The development proposal to restore and rebuild the stone wall along its existing length on Hammersmith rd. includes placing a cementitious or stone cap as typical of many historic Newport stone walls to ensure longevity after repair. See photo of typical protective cap on historic stone wall from nearby Pen Craig estate. The vast majority of historic stone walls in Newport have caps for this purpose. Architectural drawings to be provided.

Due to high population of coyote, deer in this area, and the family's desire for privacy, the entire lot will be fenced. For the south property line, short, 3 to 4' wrought iron style ornamental fencing is proposed to be mounted directly on the restored and capped stone wall. See photo for typical example. **WITHDRAWN**



Appendix on Historic Landscape Feature: Sunken Stone Circle Retaining Walls

These slides presented for informational purposes to HDC only, to demonstrate project's commitment to restoration and preservation of the historic landscape feature on the property. No specific approval is requested for repair of the crumbling stone retaining walls.

Referenced City of Newport Ordinances and Codes

17.74.020. - Definition.

For the purpose of this chapter, the following definition shall apply unless the context clearly indicates or requires a different meaning.

"Historic stone wall" means a human-made linear or curvilinear structure, freestanding or semi-attached to another structure, comprised primarily of aligned, stacked, and/or cemented natural stone, originally constructed in the 17th, 18th, 19th, or early 20th centuries, to designate a property boundary or to segregate activities within a single property.

(Ord. No. 2014-020, § 1, 8-27-2014)

17.80.020. - Definitions.

"Historic designed landscape" means a landscape that was consciously designed or laid out by a landscape architect, master gardener, architect, or horticulturist according to design principles or a gardener working in a recognized style or tradition. The landscape may be associated with significant person(s), trend, or event in landscape architecture; or illustrate an important development in the theory and practice of landscape architecture. Aesthetic values play a significant role in designed landscapes. Examples include parks, campuses, walking trails and estates. Importantly, Newport has a number of nationally significant landscapes, now exempted from review; the commission should recognize and encourage the preservation of such historic designed landscapes.

"Historic landscape features" means features which characterize the historic and designed character of a property's setting, including, but not limited to, decorative or retaining walls, gates, fences, statuary or other objects of art, seating or other furnishings, arbors, trellises, fountains, paths, walkways, driveways, the contour and elevations of landforms and designed grades, and under certain circumstances, trees.

“The Amphitheater”

This large historic landscape feature is defined by a depressed circular area ~90 foot diameter with an additional circular arced terrace on its north side. Retaining walls that define the landscape feature vary from 18” to 4’ high. It is in an extreme state of disrepair and crumbling.



“The Amphitheater”

The retaining walls are in an extreme state of disrepair and crumbling. Nearly 70% of this landscape retaining wall will require rebuild and repair. The stairs would be considered unsafe. The stone retaining walls have mortared joints and all repairs/rebuilds will be done in the original construction style of the wall, using wall stone available on-site.



Beacon Hill House

McKim, Mead, and White built Belvoir for John H. Glover in 1887. Around 1909 Arthur Curtiss James bought the property and tore down Belvoir. Enlarging its foundations, he erected an imposing stone mansion on the highest point of Beacon Hill, surrounded by extensive grounds laid out in the natural setting of the granite outcroppings. The view of the ocean and Narragansett Bay was unsurpassed. It is strange to note that none of the many gardens planned for him by the Olmsted Brothers, Hempstead of Boston, his superintendent, John Greatorex, and Mrs. Harriet Foote, who planned the extensive rose garden, lay close to the house. On either side of the main road to the estate, paths edged with low-clipped evergreens were measured out with pink rambler roses on posts with a riot of gay flowers around them. The background claimed the native rock outcroppings, dotted with arborvitae, red cedar, pine, spruce, and yew, pointing their conically trimmed fingers upwards to heaven. Arthur Curtiss James' stone mansion ruled the crest of the rocks above. When the American flag was flying, he was always at home. Plate 48.

Near one of the three stone pillared entrances was situated the old rose garden. The circular lawn, with its carved stone well in the center, was sunken on a slightly lower level and edged with English ivy and low, clipped English boxwood. Giant cryptomeria, spruce, and arborvitae cast their shadows on the velvet grass. Steps led to several rose arbors, watched over by impressive stone figures. Plate 49.

Peckham Brothers, Middletown contractors, literally blasted the site for the new 1,000-foot rose garden out of the surrounding crags east of the house in 1931. It was then filled with the finest loam, manure, and liquid fertilizer in which 5,000 roses were planted. No wonder they thrived in such a rocky place. The oval reflecting pool was surrounded by dwarf varieties and standard Plate 50.

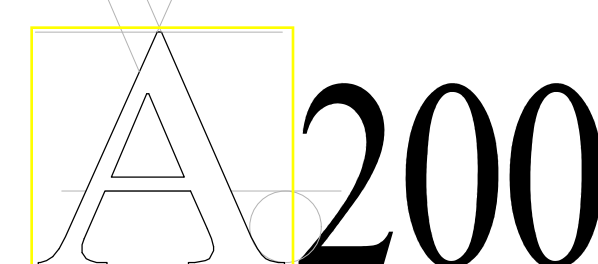
Research on “The Amphitheater”
reveals it to be a rose garden of the
Arthur Curtiss James Estate, circa
1910



Plate 49.

Historic Photo of Original Arthur Curtiss James Rose Garden

The ruins of this once beautiful rose garden and its landscape features shall be repaired, rebuilt and returned to its former status as a manicured formal rose garden and landscape centerpiece of the new residence. All repairs will be done in the original construction style of the wall, using wall stone available on-site. High resolution photos shall be taken every 10' of the retaining walls to document pre-existing conditions.



ARAMEL ESTATE - 54 HAMMERSMITH ROAD, NEWPORT, RI 02840



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PROGRESS ONLY
DRAWING NOT
FOR BIDDING, PERMITTING OR FURTHERING
05.26.2021

Issues
Number Date Description

Checked by: AT
Drawn by: AT/DLKS
Project Number: -

Revisions
Number Date Description

ARAMEL
ESTATE

54 Hammersmith Road
Newport, RI
02840

Drawing Scale: 1/8"=1'-0"
Date Issued: 05.26.2021

ELEVATIONS

A 201



TREE + SHRUB PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE
TREES				
ABI FRA	ABIES FRASERII	FRASER FIR	1	10/12' B&B
CRY JAP	CRYPTOMERIA JAPONICA 'YOSHINO'	JAPANESE CEDAR	11	12/14' B&B
FAG SYL	FAGUS SYLVATICA	EUROPEAN BEECH	1	10/12' B&B
PIC ABI	PICEA ABIES	NORWAY SPRUCE	4	14/16' B&B
PIC GLA	PICEA GLAUCA	WHITE SPRUCE	4	12/14' B&B
PIC PUN	PICEA PUNGENS	COLORADO BLUE SPRUCE	2	10/12' B&B
PIN NIG	PINUS NIGRA	AUSTRIAN PINE	2	12/14' B&B
PYR CAL	PYRUS CALLERYANA 'GLEN'S FARM'	CHANTICLEER PEAR	4	3/4" CAL.
THU OCC	THUJA OCC. 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	55	10/12' B&B
THU PLI	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	15	12/14' B&B
SHRUBS				
RHO ELE	RHODODENDRON ROSEUM ELEGANS	RHODODENDRON	48	SIZES TO VARY

PLANTING NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE PRIOR TO SUBMITTING BID TO BECOME COMPLETELY FAMILIAR WITH SITE CONDITIONS.
- NO PLANTING WILL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA.
- CONTRACTOR TO VERIFY ALL UTILITIES ON PROPERTY AND TO PROTECT ALL UTILITIES DURING EXCAVATION.
- IF THERE IS A DISCREPANCY BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLAN AND THE NUMBER OF PLANTS SHOWN IN THE PLANT LIST, THE NUMBER OF PLANTS SHOWN ON THE LIST WILL TAKE PRECEDENCE.
- ALL CONTAINER MATERIAL TO BE GROWN IN CONTAINER A MINIMUM OF SIX MONTHS.
- ALL MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, ACCORDING TO THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR SHALL REPAIR ALL DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
- CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM TIME OF PROVISIONAL ACCEPTANCE.
- ALL PROPOSED PLANTS SHALL BE LOCATED CAREFULLY AS SHOWN ON THE PLANS AND THE PLACEMENT SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT BEFORE THE INSTALLATION.
- ALL DISTURBED AREAS NOT TO BE PAVED OR PLANTED SHALL BE LOAMED AND SEEDDED AS SHOWN. SEE SPECIFICATIONS FOR SOIL PREPARATION AND SEED MIX.
- TWO INCH (2") DEEP, FINELY SHREDDED BARK MULCH WILL BE INSTALLED AROUND ALL TREES AND SHRUBS THAT ARE ISOLATED FROM GROUND COVER AREAS AND GENERAL SHRUB MASSES.
- ALL PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT ON SITE PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT WILL TAG ALL TREES AT THE NURSERY AND INSPECT THEM AFTER DELIVERY TO THE SITE. SEE SPECIFICATIONS FOR TAGGING, INSPECTION, AND ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT SHALL CONFIRM PLANT LIST AND APPROVE SUBSTITUTIONS OF PLANT VARIETIES PRIOR TO ORDERING OF MATERIAL.
- SOIL MIX: 1/3 PEAT MOSS, 1/3 SCREENED LOAM, 1/3 DEHYDRATED MANURE.
- THE OWNER RESERVES THE RIGHT TO SUBSTITUTE PLANT SELECTIONS WITH PLANTS OF SIMILAR CHARACTERISTICS IF THE SPECIFIED PLANTS ARE NOT AVAILABLE IN ACCEPTABLE QUANTITIES OR CONDITIONS.



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PROJECT NUMBER: 21.054
DRAWN BY: KD
CHECKED BY: PSR
SCALE: 1"=30'-0"
DATE: 06.29.2021
REVISIONS:

FOR
REVIEW
(NOT FOR
CONSTRUCTION)

TREE PLANTING PLAN



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