

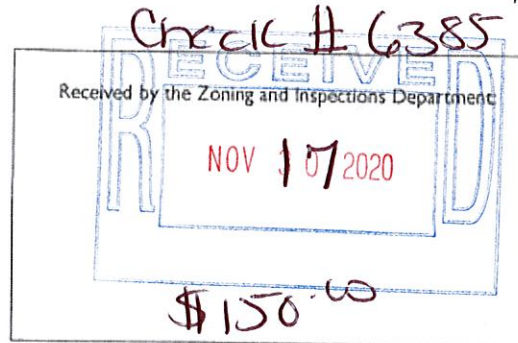


NEWPORT HISTORIC DISTRICT COMMISSION

DEPARTMENT OF ZONING & INSPECTIONS

43 Broadway, Newport, Rhode Island 02840

401.846.9600 (City Hall) 401.845.5357 (Preservation)



HDC
DEC 50

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Please complete this application in **BLACK** or **BLUE** ink only.

Illegible/incomplete applications will be returned to the applicant.

Hearing Dates and Filing Deadlines are posted at City Hall and www.cityofnewport.com.

GENERAL INFORMATION

PROPERTY ADDRESS: 18 Memorial Blvd		Plat: 28	Lot: 84
Property Name (if any, including historic):		Original Date of Construction: pre 1900	
APPLICANT (Legal Owner of Record): Kyle Costa		Telephone: (508) 971-0620 Email: kcostarealty@gmail.com	
Mailing Address: 3 Spring St Apt. 3 Newport, RI 02840			
LEGALLY AUTHORIZED REPRESENTATIVE: Daniel Herchenroether		Telephone: 401-662-7875 Email: dan@herk-works.com	
Mailing Address: 36 Aquidneck Ave, Middletown RI 02842			

ADDITIONAL INFORMATION CHECKLIST

- ☒ N Is the application fee included? (See attached General Fee Schedule)
- ☐ ~~N~~ Is the property in condominium ownership? If yes, proof of board or association approval must be attached.
- ☐ ~~N~~ Is this application filed in response to a violation notice?
- ☐ ~~N~~ Is this application a modification of plans previously-approved (date(s) _____) by the HDC?
- ☐ ~~N~~ Does this project require other approvals? Zoning _____ CRMC _____ Other (describe): _____
- ☐ ~~N~~ Does access to the subject property require special arrangements? _____

SUMMARY OF PROPOSED WORK

Describe all proposed exterior alterations to the subject property here.

Do not leave this section blank.

Check off all applicable categories below.

Constructing shed dormers on both the east and west sides of the existing roof. Adding a 48" cantilevered deck with sliding patio door. Exterior will be clad with cedar wood wall shingles and painted finger jointed cedar trim. Roof will be asphalt shingles. Windows will be aluminum clad wood construction with simulated divided lites

- Y ☒ N Repair/replacement of exterior architectural features?
- ☒ N Minor Alteration(s) – Any alteration(s) that replace existing building features or any new construction of less than 25% of the existing structure's square footage?
- Y ☒ N Major Alteration(s) – Any addition(s) of more than 25% of an existing structure's square footage or any new freestanding structure(s)?
- Y ☒ N New Construction?
- Y ☒ N Demolition?
- ☒ N Roof(s) or skylight(s)?
- ☒ N Window(s) or door(s)?
- Y ☒ N Porches or Entries?
- Y ☒ N Chimney(s)?
- Y ☒ N Foundation?
- Y ☒ N Mechanical and/or electrical equipment?
- Y ☒ N Shutters or awnings?
- Y ☒ N Sign(s)?
- Y ☒ N Pools and/or site structures?
- Y N Other? Describe: _____

REQUIRED APPLICATION MATERIALS

**PLEASE READ CAREFULLY TO CONFIRM THAT ALL REQUIRED MATERIALS
ARE INCLUDED IN COMPLETED APPLICATION PACKET.**

All HDC application materials must be submitted on 8.5x11 or 11x17 paper, single-sided, to facilitate electronic scanning, posting and archiving.

**10 COPIES OF EACH APPLICATION ARE REQUIRED.
1 DIGITAL COPY OF ALL MATERIALS SHOULD BE SUBMITTED TO
PRESERVATIONCOA@CITYOFNEWPORT.COM**

☒ ☐ COMPLETED APPLICATION FORM AND 10 COPIES OF EACH REQUIRED MATERIAL (PHOTOGRAPHS, DRAWINGS AND MATERIALS/PRODUCT LITERATURE/SAMPLES) INCLUDED?

☒ ☐ PHOTOGRAPHS?

Ten (10) color copies of color photographs (4" x 6" or larger) clearly depicting current existing conditions at the property are required for all applications. Include a minimum of one (1) street view of the property showing any portions of the building(s) that are visible and a minimum of one (1) photograph of each elevation that will be affected by the proposed work. Photographs must be submitted on 8.5x11 or 11x17 paper. Prints are not accepted. Date and legal address of subject property should be indicated on all photographs. Including historic views of the subject property is encouraged.

☒ ☐ DRAWINGS?

If drawings are required, one (1) original drawn scale set should be submitted along with ten (10) copies of the original, reduced to fit on 8.5x11 or 11x17 paper. Drawings must include date, scale, cardinal points (N, S, E and W) and proposed materials. If the application proposes modifications to a plans previously approved by the HDC, an 11x17 copy of the previously-approved drawings must be included along with new drawings depicting proposed modifications. Please note that applications for any major construction require drawings that meet professional standards.

Elevation drawings are required for most projects and should show existing conditions and proposed alterations at all elevations that will be affected by proposed work. (1/4" = 1' scale or larger for most residential-scale projects)

Elevation detail and cross section drawings are required for proposed projects (including new construction and major alteration) that involve new or altered windows, doors, dormers, porches, trim elements and other new or altered architectural features. (3/4" = 1' scale or larger)

Full scale details are required for certain proposed new architectural elements (moldings and other trim elements, for example.)

Site plan is required for any alteration to existing building footprints, including proposed free-standing construction or additions to existing buildings as well as for the addition of at-grade mechanical equipment. (1"=20' scale or larger)

Perspective drawings (or some other form of perspective depiction, such as photomontage) may be required for proposed new free-standing construction or substantial alteration of existing buildings or sites.

☒ ☐ MATERIALS/PRODUCT LITERATURE/SAMPLES?

Ten (10) copies of product literature and/or manufacturer specification sheets for stock items should also be submitted. Material samples are requested on a case-by-case basis, but are generally required for any proposed new construction or substantial alteration of existing buildings.

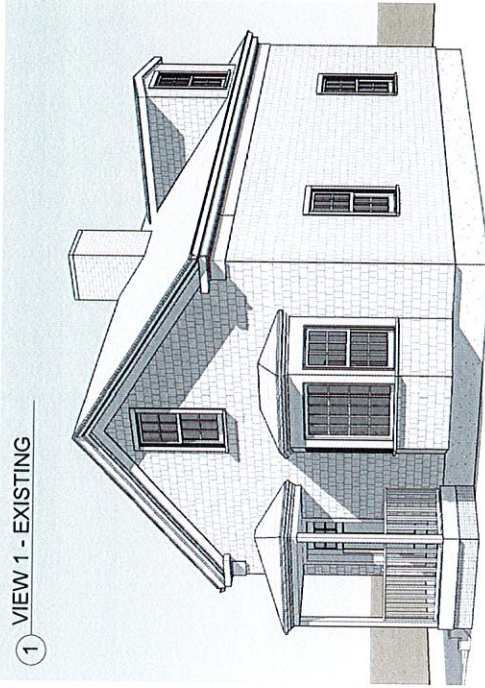
SIGNATURE

I certify that (i) I am the Legal Owner of Record or legally authorized to sign on behalf of the property's Legal Owner of Record and (ii) all of the information provided in and with this application is true and accurate to the best of my knowledge.

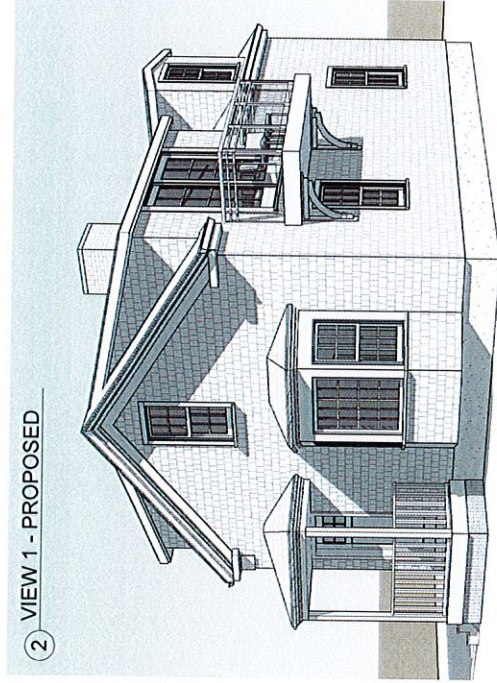
Applicant Signature: Kyle J. Costa Date: 11/16/2020

Applicant Printed Name: Kyle J. Costa

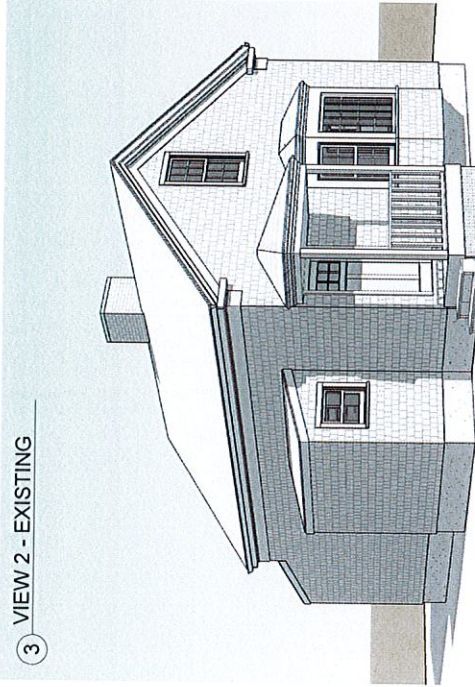
1 VIEW 1 - EXISTING



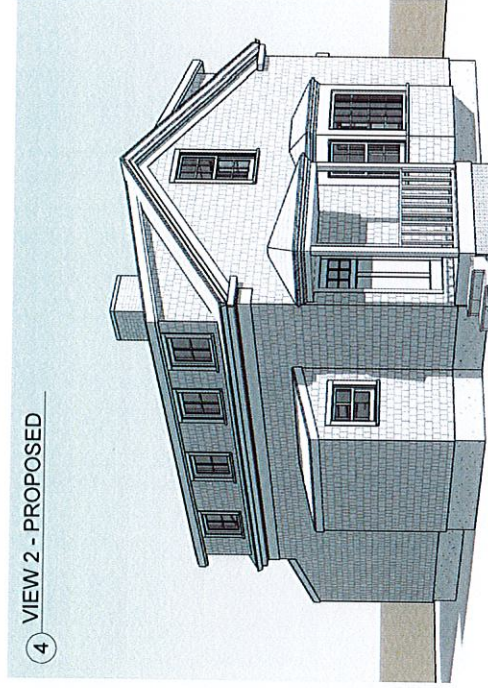
2 VIEW 1 - PROPOSED



3 VIEW 2 - EXISTING



4 VIEW 2 - PROPOSED



COSTA RESIDENCE
18 MEMORIAL BLVD
NEWPORT, RI 02840

'SCHEMATIC SET'
OPTION B

SHEET LIST

Sheet Number	Sheet Name
A0	COVER
A011	VIEWS
A111	1ST FLOOR PLAN
A121	2ND FLOOR PLAN
A122	2ND FLOOR PLAN - PROPOSED
A211	FRONT ELEVATION
A221	SIDE ELEVATION (WEST)
A231	REAR ELEVATION
A241	SIDE ELEVATION (EAST)

HERK WORKS

ARCHITECTURE

401.662.7875

DAN@HERK-WORKS.COM



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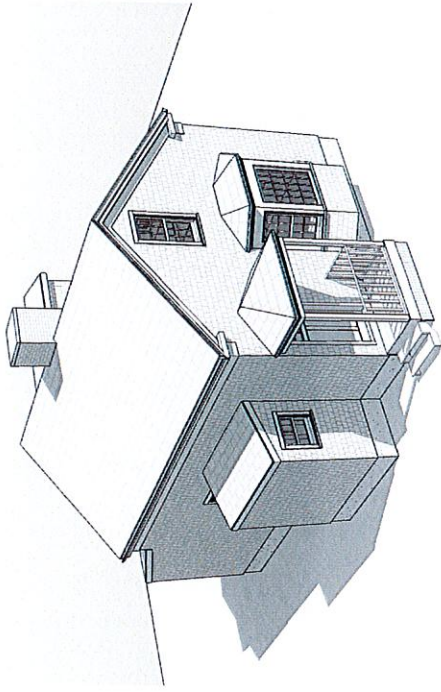
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COVER

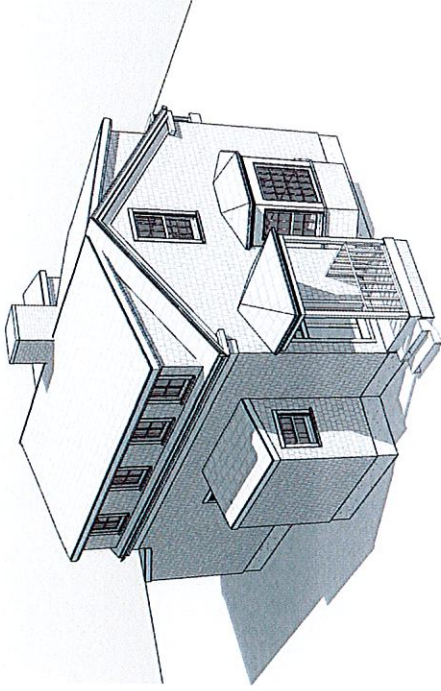
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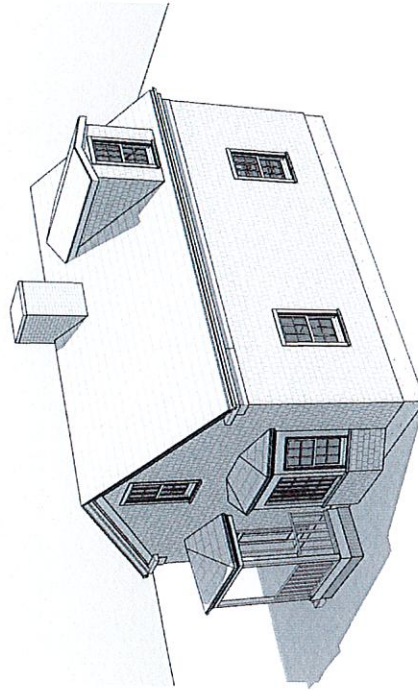
A0



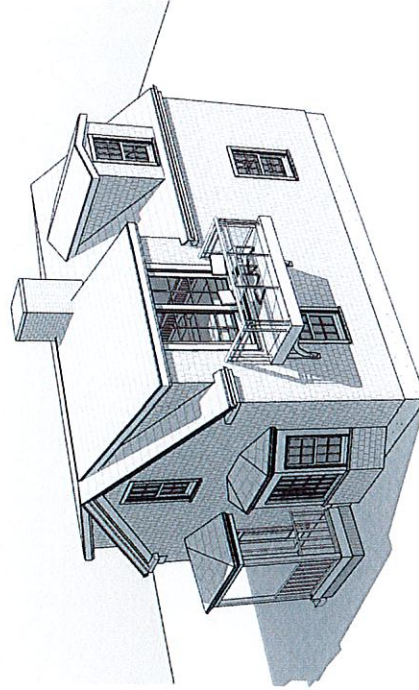
1 AERIAL VIEW 1 - EXISTING



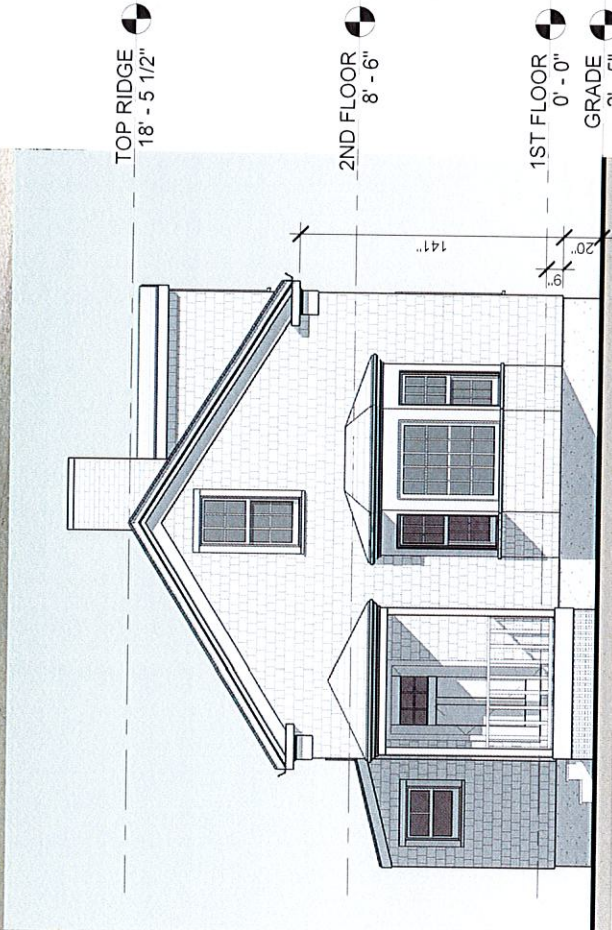
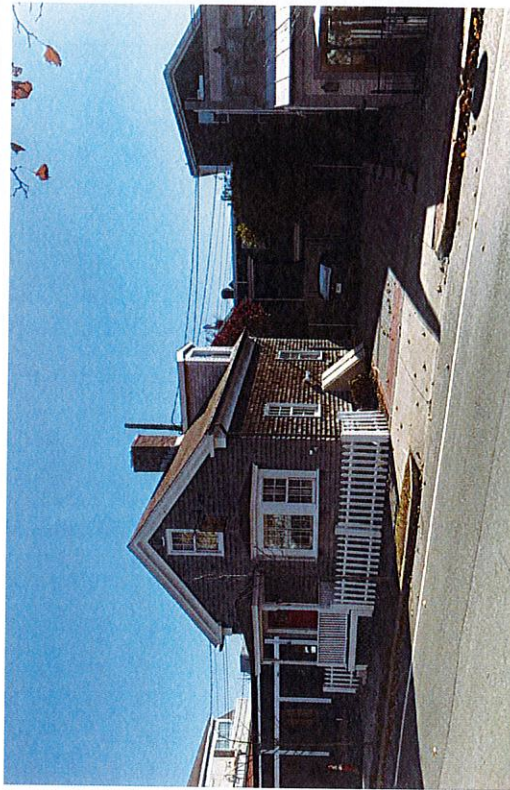
2 AERIAL VIEW 1 - PROPOSED



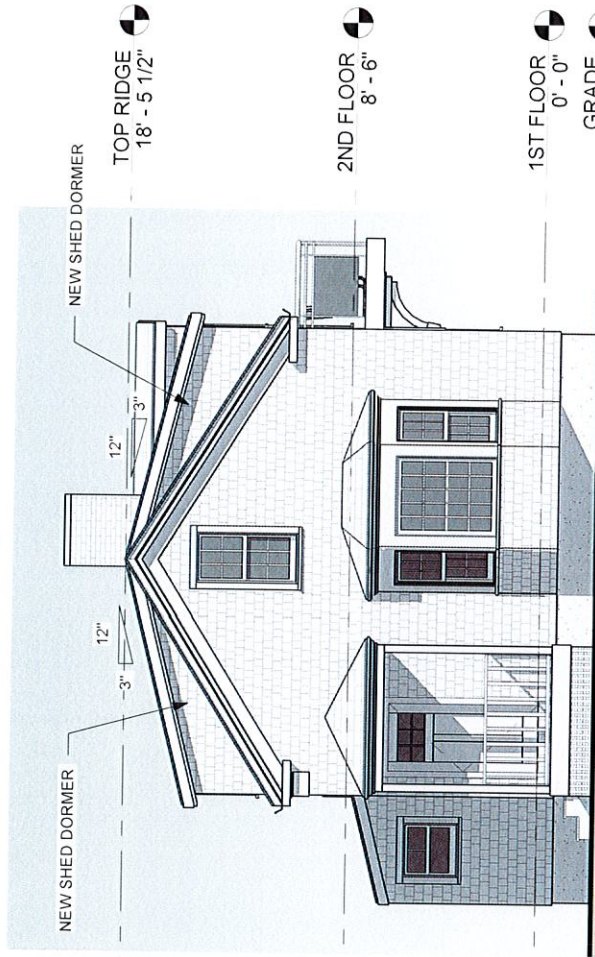
3 AERIAL VIEW 2 - EXISTING



4 AERIAL VIEW 2 - PROPOSED



1 FRONT ELEVATION (NORTH) - EXISTING
3/16" = 1'-0"



2 FRONT ELEVATION (NORTH) - PROPOSED
3/16" = 1'-0"

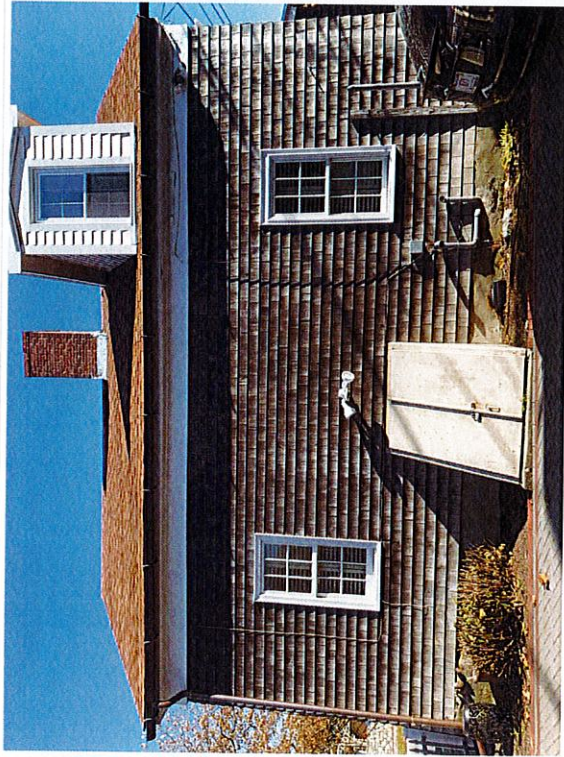
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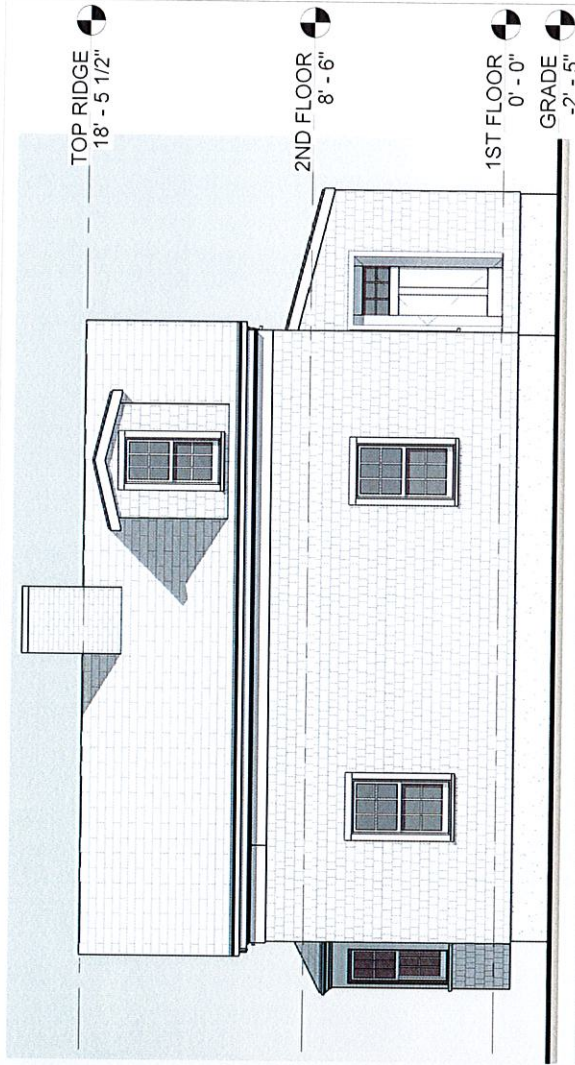


① SIDE ELEVATION (WEST) - EXISTING
3/16" = 1'-0"

NEW SHED DORMER

NEW ALUMINUM CLAD
WOOD SLIDING DOOR

NEW WOOD BALCONY
W/ GLASS RAILING

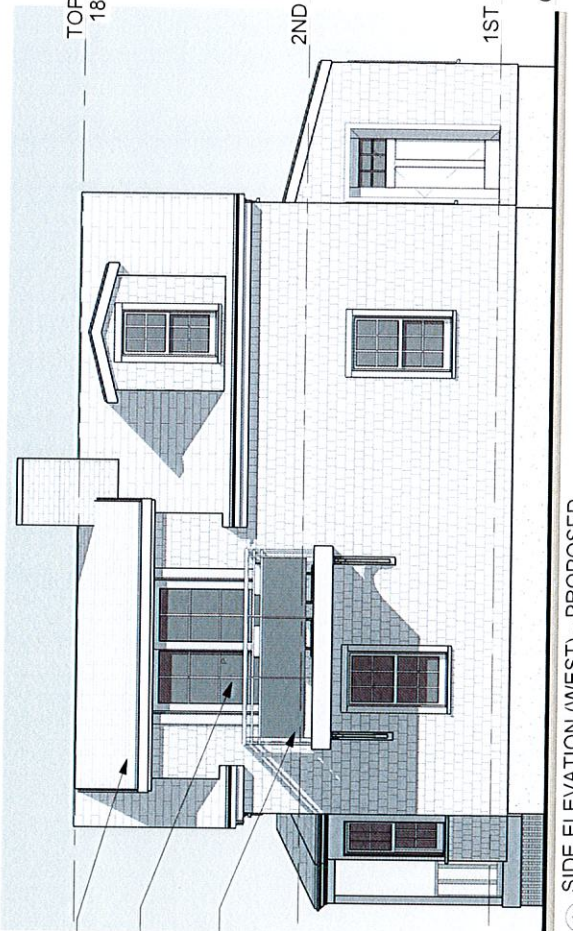


TOP RIDGE
18' - 5 1/2"

2ND FLOOR
8' - 6"

1ST FLOOR
0' - 0"

GRADE
-2' - 5"



② SIDE ELEVATION (WEST) - PROPOSED
3/16" = 1'-0"

TOP RIDGE
18' - 5 1/2"

2ND FLOOR
8' - 6"

1ST FLOOR
0' - 0"

GRADE
-2' - 5"

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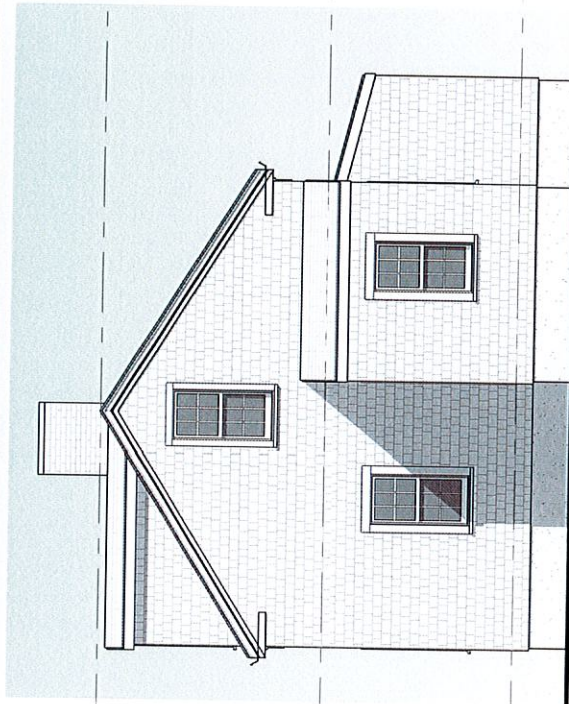
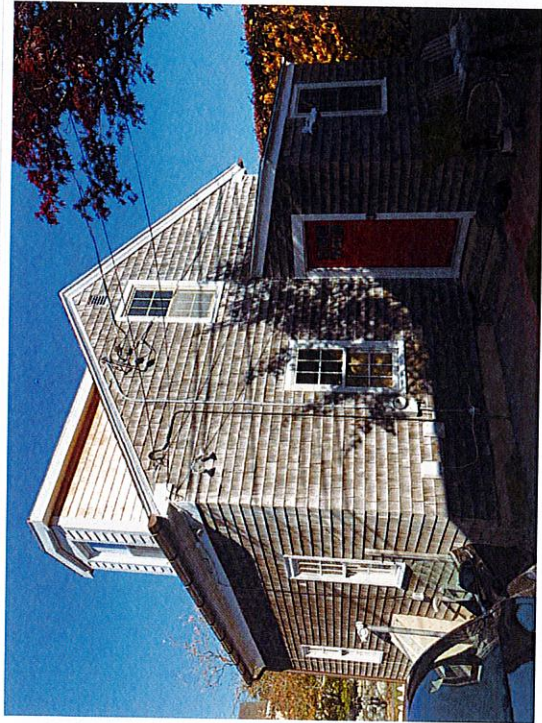
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② SIDE ELEVATION (WEST) - PROPOSED
3/16" = 1'-0"

① SIDE ELEVATION (WEST) - EXISTING
3/16" = 1'-0"

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A221

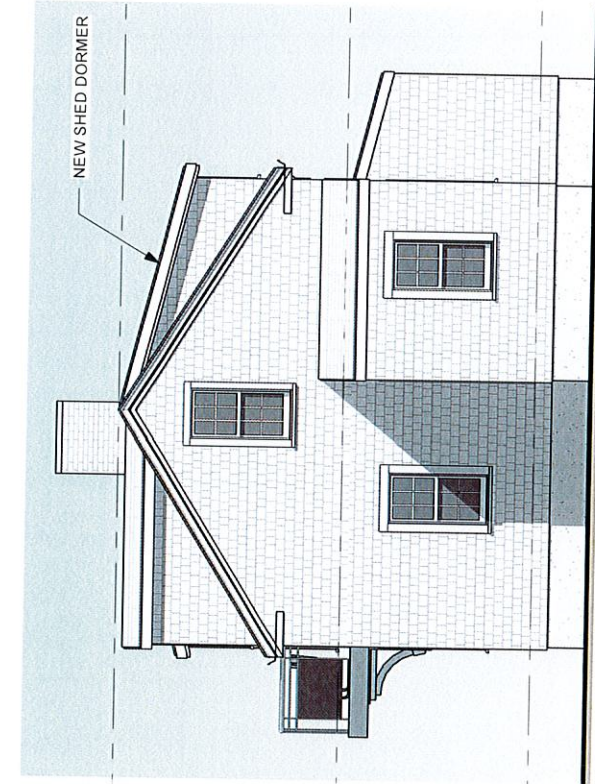


TOP RIDGE
18' - 5 1/2"

2ND FLOOR
8' - 6"

1ST FLOOR
0' - 0"

GRADE
-2' - 5"



TOP RIDGE
18' - 5 1/2"

2ND FLOOR
8' - 6"

1ST FLOOR
0' - 0"

GRADE
-2' - 5"

2) REAR ELEVATION (SOUTH) - PROPOSED
3/16" = 1'-0"

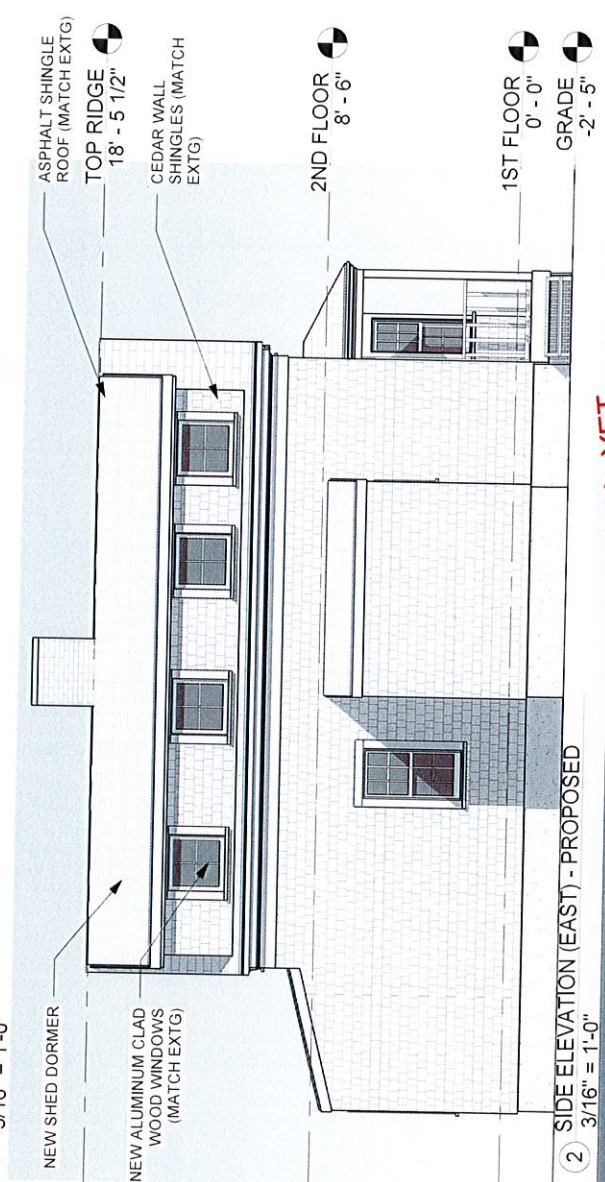
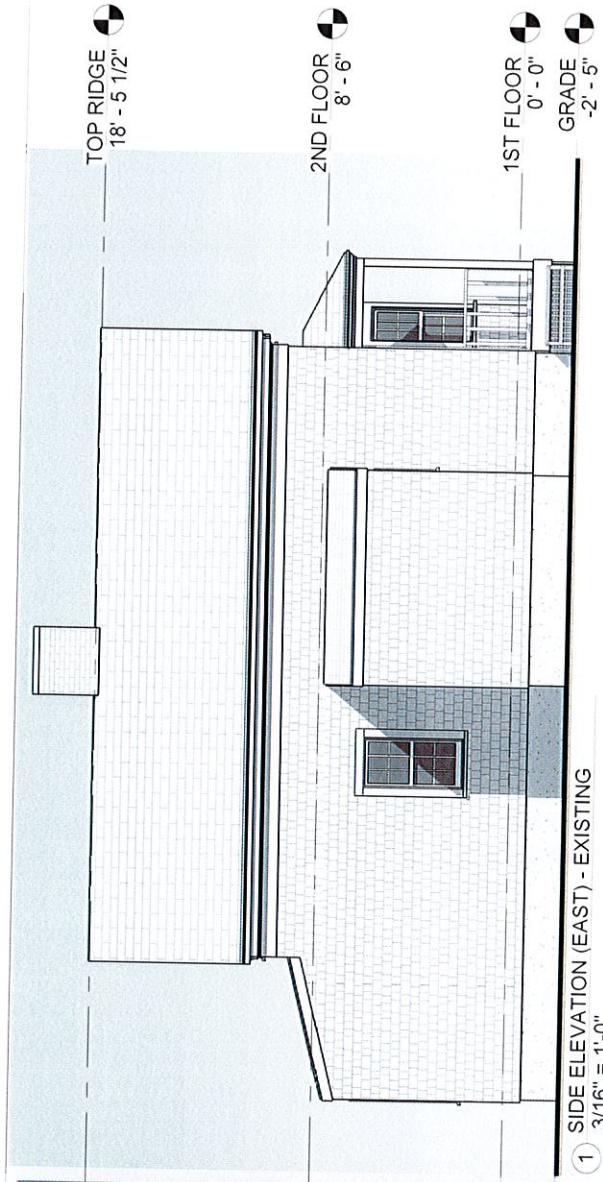
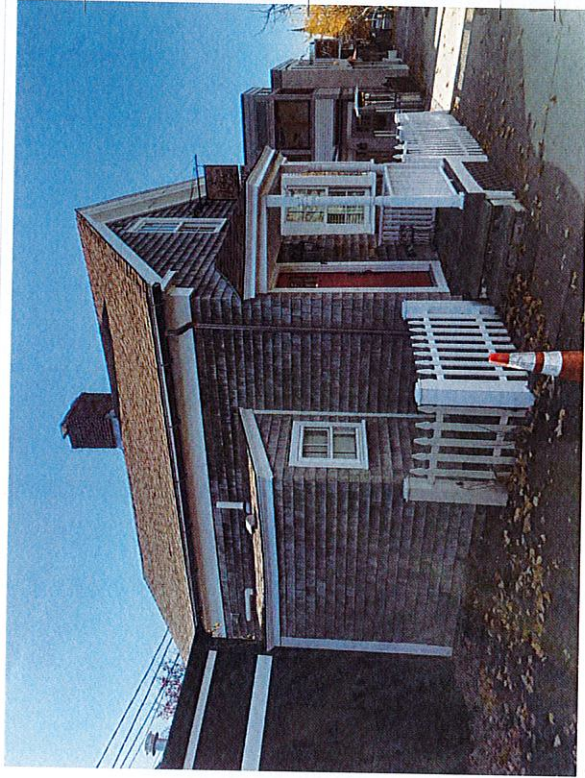
REAR ELEVATION (SOUTH) - PROPOSED
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A231

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