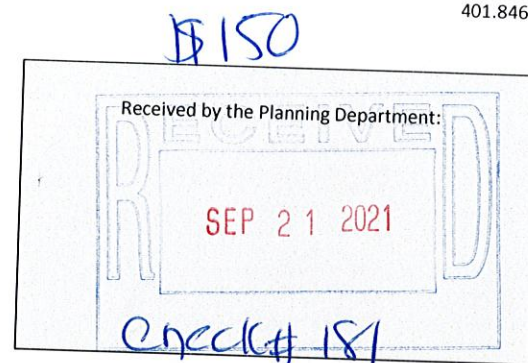




## NEWPORT HISTORIC DISTRICT COMMISSION

DEPARTMENT OF PLANNING, ZONING, DEVELOPMENT & INSPECTION  
43 Broadway, Newport, Rhode Island 02840  
401.846.9600 (City Hall) 401.845.5357 (Preservation)



HDC  
OCT. 19

### APPLICATION FOR CERTIFICATE OF APPROPRIATENESS

Please complete this application in BLACK or BLUE ink only.  
Illegible/incomplete applications will be returned to the applicant.  
Hearing Dates and Filing Deadlines are posted at City Hall and [www.cityofnewport.com](http://www.cityofnewport.com).

#### GENERAL INFORMATION

<b>PROPERTY ADDRESS:</b> 6 Greenough Place Newport, RI 02840	<b>Plat:</b> 22	<b>Lot:</b> 027
<b>Property Name</b> (if any, including historic): Daniel Swinbourne House	<b>Original Date of Construction:</b> 1862	
<b>APPLICANT (Legal Owner of Record):</b> Elijah Duckworth-Schachter	Telephone: 917-353-2071 (cell) Email: <a href="mailto:EDuckworth-s@POP-capitol.com">EDuckworth-s@POP-capitol.com</a>	
<b>Mailing Address:</b> 6 Greenough Place Newport, RI 02840		
<b>LEGALLY AUTHORIZED REPRESENTATIVE:</b> Ross Cann, AIA, LEED AP A4 Architecture Inc.	Telephone: 401.849.5100 Email: <a href="mailto:Ross.Cann@A4arch.com">Ross.Cann@A4arch.com</a>	
<b>Mailing Address:</b> 320 Thames Street / Third Floor Newport, RI 02840		

#### ADDITIONAL INFORMATION CHECKLIST

- [Y] [N] Is the application fee included? (See attached General Fee Schedule)
- [Y] [N] Is the property in condominium ownership? If yes, proof of board or association approval must be attached.
- [Y] [N] Is this application filed in response to a violation notice?
- [Y] [N] Is this application a modification of plans previously-approved (date(s) \_\_\_\_\_) by the HDC?
- [Y] [N] Does this project require other approvals? Zoning X Other (describe): \_\_\_\_\_
- [Y] [N] Does access to the subject property require special arrangements? Call owner to arrange.

**SUMMARY OF PROPOSED WORK**

Describe all proposed exterior alterations to the subject property here.

Do not leave this section blank.

Check off all applicable categories below.

Replace the existing dilapidated garage by converting into the existing footprint into a more period appropriate design to create a more functional space and to be more compatible with the rest of the historic property.

☒ ☐ Repair/replacement of exterior architectural features? Some components like windows to be reused

☐ ☒ Minor Alteration(s) – Any alteration(s) that replace existing building features or any new construction of less than 25% of the existing structure's square footage? \_\_\_\_\_

☒ ☐ Major Alteration(s) – Any addition(s) of more than 25% of an existing structure's square footage or any new freestanding structure(s)? \_\_\_\_\_

☒ ☐ New Construction? \_\_\_\_\_ Period appropriate garage

☒ ☐ Demolition? \_\_\_\_\_ Existing garage

☒ ☐ Roof(s) or skylight(s)? \_\_\_\_\_

☒ ☐ Window(s) or door(s)? \_\_\_\_\_

☐ ☒ Porches or Entries? \_\_\_\_\_

☐ ☒ Chimney(s)? \_\_\_\_\_

☒ ☐ Foundation? \_\_\_\_\_ To be confirmed

☒ ☐ Mechanical and/or electrical equipment? \_\_\_\_\_

☐ ☒ Shutters or awnings? \_\_\_\_\_

☐ ☒ Sign(s)? \_\_\_\_\_

☐ ☒ Pools and/or site structures? \_\_\_\_\_

☐ ☒ Other? Describe: \_\_\_\_\_

## REQUIRED APPLICATION MATERIALS

PLEASE READ CAREFULLY TO CONFIRM THAT ALL REQUIRED MATERIALS  
ARE INCLUDED IN COMPLETED APPLICATION PACKET AND COMPLETE CHECKLIST

All HDC application materials must be submitted on unbound and unstapled 8.5x11 or 11x17  
paper, single-sided, to facilitate electronic scanning, posting and archiving.

10 COPIES OF EACH APPLICATION ARE REQUIRED.

Digital submissions are not accepted at this time.

☒ [Y] [N] COMPLETED APPLICATION FORM AND 10 COPIES OF EACH REQUIRED MATERIAL  
(PHOTOGRAPHS, DRAWINGS AND MATERIALS/PRODUCT LITERATURE/SAMPLES)  
INCLUDED?

☒ [Y] [N] PHOTOGRAPHS?

Ten (10) copies of color photographs (4" x 6" or larger) clearly depicting current existing  
conditions at the property are required for all applications. Include a minimum of one (1) street view of  
the property showing any portions of the building(s) that are visible and a minimum of one (1) photograph of each  
elevation that will be affected by the proposed work. Photographs must be submitted on 8.5x11 or 11x17  
paper. Prints are not accepted. Date and legal address of subject property should be indicated on all photographs.  
Including historic views of the subject property is encouraged.

☒ [Y] [N] DRAWINGS?

If drawings are required, one (1) original drawn scale set should be submitted along with ten (10)  
copies of the original, reduced to fit on 8.5x11 or 11x17 paper. Drawings must include date, scale, cardinal  
points (N, S, E and W) and proposed materials. If the application proposes modifications to a project already granted  
HDC approval, an 11x17 copy of the previously-approved drawings must be included along with new drawings depicting  
proposed modifications. Please note that applications for any major construction require drawings that meet professional  
standards.

Elevation drawings are required for most projects and should show existing conditions and proposed alterations at  
all elevations that will be affected by proposed work. (1/4" = 1' scale or larger for most residential-scale projects)

Elevation detail and cross section drawings are required for proposed projects (including new construction  
and major alteration) that involve new or altered windows, doors, dormers, porches, trim elements and other new or  
altered architectural features. (3/4" = 1' scale or larger)

Full scale details are required for certain proposed new architectural elements (moldings and other trim elements,  
for example.)

Site plan is required for any alteration to existing building footprints, including proposed free-standing construction or  
additions to existing buildings as well as for the addition of at-grade mechanical equipment. (1"=20' scale or larger)

☒ [Y] [N] MATERIALS/PRODUCT LITERATURE/SAMPLES?

Ten (10) copies of all proposed materials must be clearly indicated on drawings. Product literature or manufacturer cut  
sheets for stock items should also be submitted. Material samples are requested on a case-by-case basis, but are generally  
required for any proposed new construction or substantial alteration of existing buildings.

## SIGNATURE

I certify that (I) I am the Legal Owner of Record or legally authorized to sign on behalf of the property's Legal  
Owner of Record and (II) all of the information provided in and with this application is true and accurate to  
the best of my knowledge.

Applicant Signature: [Signature] Date: 9/20/24

Applicant Printed Name: Elijah Dackworth-Exachte





EXISTING



PROPOSED

GARAGE RENOVATION  
6 GREENOUGH PLACE  
NEWPORT, RI 02840

Sheet List	
Sheet Number	Sheet Name
01: GENERAL	
A0.00	COVER
A0.01	GENERAL NOTES
A0.02	SYMBOLS & ABBREVIATIONS
A0.04	EXISTING CONDITIONS
A0.05	EXISTING CONDITIONS
A0.06	RENDERINGS
A0.07	NEIGHBORHOOD ANALYSIS
A0.08	NEIGHBORHOOD CONTEXT
A0.10	EXISTING SITE PLAN
A0.20	PROPOSED SITE PLAN
02: ARCHITECTURAL	
A2.11	PROPOSED GARAGE PLAN LEVEL 01
A2.21	PROPOSED GARAGE PLAN LEVEL 02
A7.20	PROPOSED GARAGE ELEVATIONS
A8.10	PROPOSED INTERIOR ELEVATIONS
A9.10	PROPOSED NORTH SECTION
A9.11	PROPOSED EAST SECTION



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
COVER

Date:  
09/09/21

Scale:  
AS NOTED

A0.00

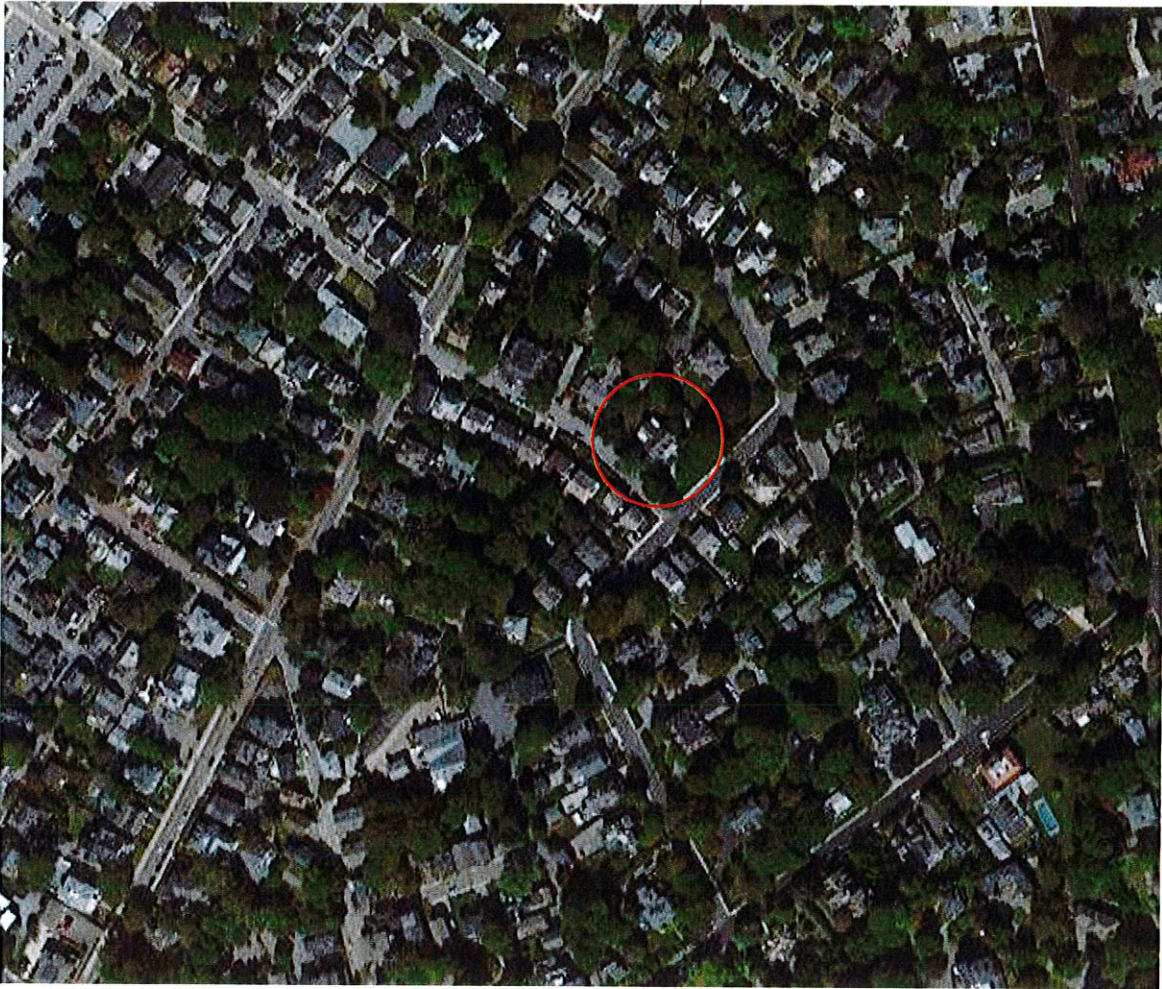
NOTE: PRINTED AT HALF SCALE @ 11x17



# LOCATION PLAN



6 GREENOUGH PL.  
NEWPORT, RI 02840



## MATERIAL DESIGNATIONS

	EARTH/COMPACT FILL		PLYWOOD		POROUS FILL/GRAVEL		FINISH WOOD
	COMMON FACE BRICK		BATT INSULATION		CAST IN PLACE/PRECAST CONCRETE		BLOCKING (NON-CONTINUOUS)
	METALS		ACOUSTICAL TILE		CONCRETE BLOCK		SPRAY FOAM INSULATION
	ROUGH WOOD - CONTINUOUS		GYPSUM WALLBOARD		RIGID INSULATION		

## ABBREVIATIONS

& @	AND ANGLE AT CENTERLINE DIAMETER	E EA EBU EJ EL ELEC'L ELEV EMERG ENCL ENGR EP EQ EQUIP EWC EXH EX EXP EXT	EAST EACH EMERGENCY BATTERY UNIT EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ENGINEER ELECTRICAL PANEL EQUAL EQUIPMENT ELECTRIC WATER COOLER EXHAUST EXISTING EXPANSION EXTERIOR	LAM LAV LB LCC LF LH LL LLH LLV LP LT(G) LTWT	LAMINATE(D) LAVATORY POUND LEAD COATED COPPER LINEAR FEET LEFT HAND LIVE LOAD LONG LEG HORIZONTAL LONG LEG VERTICAL LIGHTING PANEL LIGHT(ING) LIGHTWEIGHT	S S-DWGS SAN SC SCHED SECT SERV SF SHT SIM SMH SPEC SQ SSTL ST STD STL STRUCT SUSP SW SWGR SYM	SOUTH STRUCTURAL DRAWINGS SANITARY SOLID CORE SCHEDULE SECTION SERVICE SQUARE FEET SHEET SIMILIAR SANITARY MANHOLE SPECIFICATIONS SQUARE STAINLESS STEEL STORM STANDARD STEEL STRUCTURAL SUSPENDED SWITCH SWITCHGEAR SYMMETRICAL
AB A/C ACOUS ACT ADDN ADDN'L ADJ AFF AHU ALT ALUM ANCH ANOD APPROX ARCH	ANCHOR BOLT AIR CONDITIONING ACOUSTICAL ACOUSTICAL CEILING TILE ADDITION ADDITIONAL ADJUSTABLE ABOVE FINISHED FLOOR AIR HANDLING UNIT ALTERNATE ALUMINUM ANCHOR, ANCHORAGE ANODIZED APPROXIMATE ARCHITECT, ARCHITECTURAL	F(6.0) FA FACP FD FDN FE FEC FF FG FHC FIN FIXT FLASH FLDG FLR(G) FLUOR FOF FOM FOS FPRF(G) FR FS FT FTG FURN FURR FWC	SQUARE FOOTING SIZE FIRE ALARM FIRE ALARM CONTROL PANEL FLOOR DRAIN, FIRE DAMPER FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FINISH FLOOR FINISHED GRADE FIRE HOSE CABINET FINISH(ED) FIXTURE FLASHING FOLDING FLOORING FLUORESCENT FACE OF FINISH FACE OF MASONRY FACE OF STUD FIREPROOF(ING) FRAME FULL SIZE FOOT, FEET FOOTING FURNISH(ED) FURRING FABRIC WALLCOVERING	M-DWGS MAS MAX MDP MECH MED MEMB MET MFR MH MIN MIR MISC MO MTD	MECHANICAL DRAWINGS MASONRY MAXIMUM MAIN DISTRIBUTION PANEL MECHANICAL MEDIUM MEMBRANE METAL MANUFACTURER MANHOLE MINIMUM MIRROR MISCELLANEOUS MASONRY OPENING MOUNTED	T T&B T&G TOC TOF TOP TOM TOS TOW TEL TEMP THK THRES TYP TV	TREAD TOP AND BOTTOM TONGUE AND GROOVE TOP OF CURB TOP OF FOOTING TOP OF PLATE TOP OF MASONRY TOP OF STEEL TOPOF WALL TELEPHONE TEMPERATURE, TEMPERED THICK(NESS) THRESHOLD TYPICAL TELEVISION
B&B B/C BD B/F BIT BL BLDG BLK(G) BM BM BOT BRG BRK BSMT BUR	BALLED AND BURLAPPED BOTTOM OF CURB BOARD BOTTOM OF FOOTING BITUMINOUS BUILDING LINE BUILDING BLOCKING BEAM BENCH MARK BOTTOM BEARING BRICK BASEMENT BUILT-UP ROOFING	GA GALV GC GFI GL GND GR GYP	GAUGE GALVANIZED GENERAL CONTRACTOR GROUND FAULT INTERRUPTER GLASS, GLAZING GROUND GRADE GYPSUM	OC OD OPG OPP OZ	ON CENTER OUTSIDE DIAMETER OPENING OPPOSITE OUNCE	U UG UH UON UNFIN UV	UP UNDERGROUND UNIT HEATER UNLESS OTHERWISE NOTED UNFINISHED UNIT VENTILATOR
CAB CAL CB CD CEM CFM CG CI CJ CLG CLL CLR CMU CM CO COL CONC CONN CONST CONT CONTR CPT CR CTR CU CUH CW	CABINET CALIPER CATCH BASIN CEILING DIFFUSER CEMENT CUBIC FEET PER MINUTE CORNER GUARD CAST IRON CONTROL JOINT CEILING CONTRACT LIMIT LINE CLEAR CONCRETE MASONRY UNIT CONSTRUCTION MANAGER CLEAN OUT COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CONTRACT(OR) CARPET CEILING REGISTER CENTER CONDENSING UNIT CABINET UNIT HEATER COLD WATER	HB HC HDWD HGT HID HM HORIZ HP HTG HVAC HW	HOSE BIB HOLLOW CORE HARDWOOD HEIGHT HIGH INTENSITY DISCHARGE HOLLOW METAL HORIZONTAL HIGH POINT HEATING HEAT, VENT, A/C HOT WATER	PA PCF PERF PL PLAM PLAS PLBG PLF PLYWD PNL POL PP PR PRTN PSF PSI PT PTD PV PVC PVMT	PUBLIC ADDRESS POUNDS PER CUBIC FOOT PERFORATED PLATE PLASTIC LAMINATE PLASTER PLUMBING POUNDS PER LINEAR FOOT PLYWOOD PANEL POLISH(ED) POWER PANEL PAIR PARTITION POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED PAINTED PLUMBING VENT POLYVINYL CHLROIDE PAVEMENT	V VCT VERT VENT VIF VWC	VENT VINYL COMPOSITION TILE VERTICAL VENTILATOR VERIFY IN FIELD VINYL WALLCOVERING
DBL DET DF DIA DIM DISP DL DMH D DP DR DWG	DOUBLE DETAIL DRINKING FOUNDATION DIAMETER DIMENSION DISPENSER DEAD LOAD DRAINAGE MANHOLE DOWN DISTRIBUTION PANEL DOOR DRAWING	ID IN INCAND INCL INS INT INV	INSIDE DIAMETER INCH INCANDESCENT INCLUDE(D)(ING) INSULATE(D)(ION) INTERIOR INVERT	QT QTY	QUARRY TILE QUANTITY	W W/ W/O WC WD WIC WP WR WSCT WT WV WWF	WEST WITH WITHOUT WATER CLOSET WOOD WALK-IN CLOSET WATERPROOF, WORK POINT WATER RESISTANT WAINSCOT WEIGHT WATER VALVE WELDED WIRE FABRIC
		K K-FT	KIP(1,000 POUNDS) KIP FEET	RAD RCP RD RECEPT REF REINF REQ'D RESIL RET REV RFG RH RM RO ROW RWL RV	RADIUS REFLECTED CEILING PLAN ROOF DRAIN RECEPTACLE REFERENCE REINFORCE(D)(ING) REQUIRED RESILIENT RETURN REVISIONS, REVISED ROOFING RIGHT HAND ROOM ROUGH OPENING RIGHT OF WAY RAIN WATER LEADER ROOF VENT	YD	YARD

## SYMBOL DESIGNATIONS

WALL TYPE		ELEVATION TAG		DRAWING TITLE TAG	
DOOR ID		ROOM TAG		FLOOR ELEVATION	
WINDOW ID		COLUMN GRID TAG		SECTION TAG	
CSI CONSTRUCTION NOTE		NORTH ARROW		ENLARGED DETAIL TAG	
HANDICAP ACCESS TAG					
REVISION TAG					

NOTE: PRINTED AT HALF SCALE @ 11x17



## ARCHITECTURE + PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
SYMBOLS &  
ABBREVIATIONS

Date 09/09/21  
Scale AS NOTED

A0.02



EXISTING CONDITIONS



NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

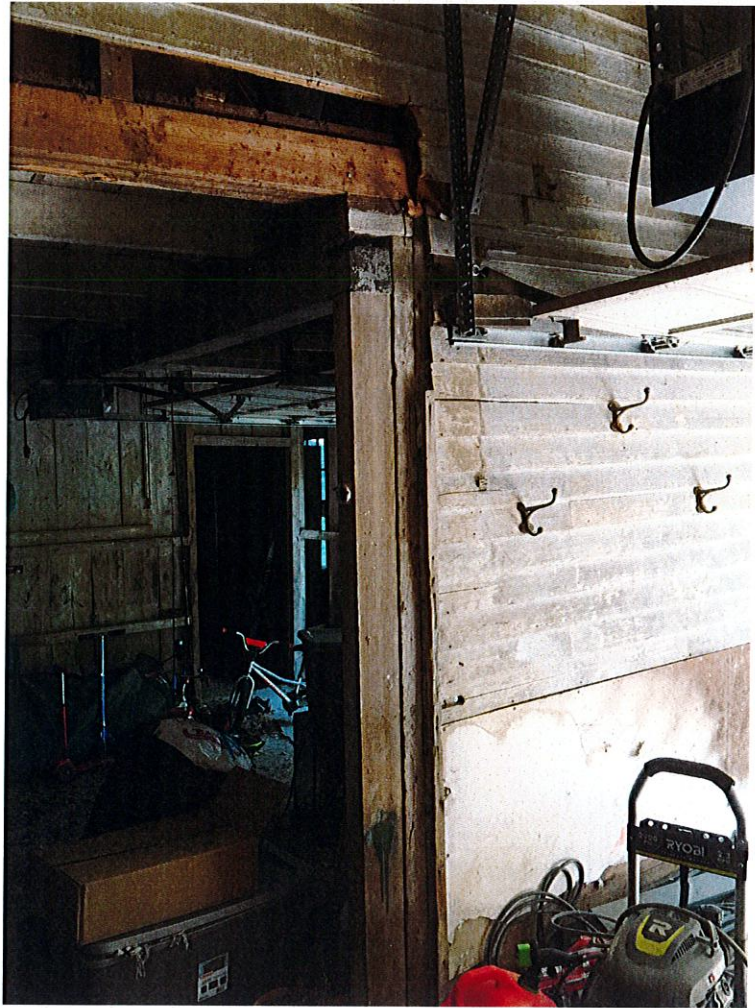
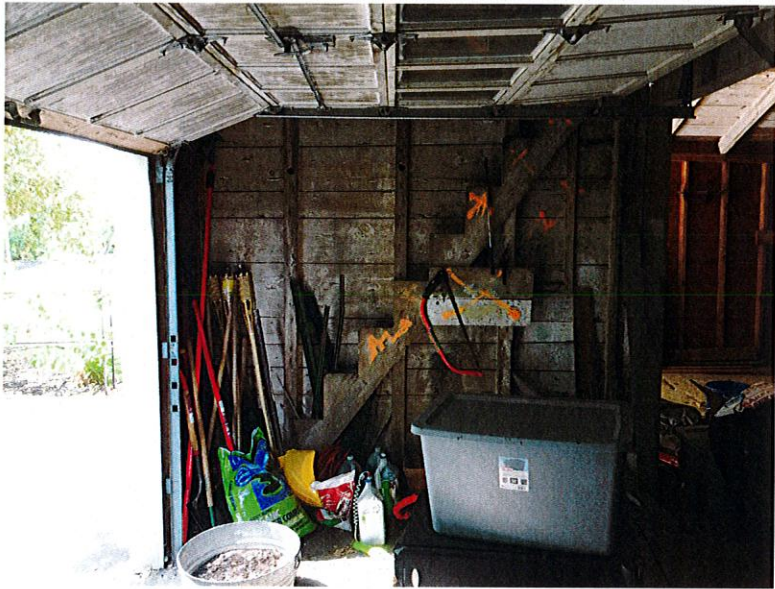
Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
EXISTING  
CONDITIONS

Date 09/09/21  
Scale AS NOTED





**ARCHITECTURE  
+ PLANNING**

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W : [www.A4-arch.com](http://www.A4-arch.com)

No.	Description	Date

Project 21006

**DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840**

Description:  
EXISTING  
CONDITIONS

Date 09/09/21  
Scale AS NOTED

**A0.05**

NOTE: PRINTED AT HALF SCALE @ 11x17







Lot #	Address	Lot Size (ac)	Lot Size (sf)	Outbuildings Footprint (sf)	Building Footprint (sf)	Total Footprint (sf)	Building Coverage
026	63 AYRAULT STREET*	0.655647383	28560	630	2574	3204	11%
027	6 GREENOUGH PLACE (EXISTING)	0.489646465	21329	720	2709	3429	16%
027	6 GREENOUGH PLACE (PROPOSED)	0.489646465	21329	733	2709	3442	16%
006	49 AYRAULT STREET	0.168732782	7350	0	1216	1216	17%
114	8 - 10 PELL STREET*	0.532713499	23205	116	4130	4246	18%
107	53 AYRAULT STREET	0.183838384	8008	400	1240	1640	20%
040	68 AYRAULT STREET	0.371992654	16204	800	2602	3402	21%
109	51 AYRAULT STREET*	0.218044077	9498	400	1672	2072	22%
007	12 PELL STREET*	0.297543618	12961	72	2788	2860	22%
104	45 KAY STREET*	0.176767677	7700	360	1396	1756	23%
088	39 KAY STREET*	0.164256198	7155	204	1473	1677	23%
033	66 AYRAULT STREET*	0.287557392	12526	240	2786	3026	24%
100	11 GREENOUGH PLACE	0.183448118	7991	576	1402	1978	25%
079	7 GREENOUGH PLACE*	0.137350781	5983	216	1320	1536	26%
084	13 GREENOUGH PLACE	0.130188246	5671	500	979	1479	26%
030	15 GREENOUGH PLACE	0.205693297	8960	396	2001	2397	27%
080	3 GREENOUGH PLACE*	0.143480257	6250	361	1442	1803	29%
106	55 AYRAULT STREET*	0.169880624	7400	361	1830	2191	30%
032	62 AYRAULT STREET	0.184917355	8055	0	2389	2389	30%
125	37 KAY STREET*	0.102640037	4471	0	1356	1356	30%
089	41 KAY STREET*	0.164348026	7159	528	1679	2207	31%
105	47 KAY STREET	0.126262626	5500	180	1537	1717	31%
091	25 PELL STREET*	0.075413223	3285	0	1064	1064	32%
108	49 KAY STREET	0.160697888	7000	400	1952	2352	34%
124	27 PELL STREET*	0.075413223	3285	0	1137	1137	35%
081	67 AYRAULT STREET*	0.109504132	4770	231	1516	1747	37%
095	17-19 PELL STREET*	0.10094123	4397	0	1681	1681	38%
087	21-23 PELL STREET	0.099173554	4320	0	1665	1665	39%
093	9-11 PELL STREET	0.098806244	4304	0	1836	1836	43%
085	1 & 3 PELL STREET	0.097543618	4249	0	1862	1862	44%

TOTAL	1.08	47026.00	2096.00	9356.0	11452.0	24.4%
AVERAGE	0.18	7837.67	349.33	1559.3	1908.7	24.5%

\* AT GRADE PATIO



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
NEIGHBORHOOD  
CONTEXT

Date  
09/09/21

Scale  
AS NOTED

A0.08

NOTE: PRINTED AT HALF SCALE @ 11x17



EXISTING SITE DATA	
PARCEL ID:	22-027
PLAT:	22
LOT:	027
ZONING:	R-10
YEAR BUILT:	1862
EXIST. FOOTPRINT:	2,709 SF
TOTAL FOOTPRINT:	3,429 SF
LOT SIZE (0.48 ACRES):	21,329 SF
ALLOWED COVERAGE:	20 %
EXISTING COVERAGE:	16 %
ALLOWED BLDG HEIGHT:	30'
EXISTING. BLDG HEIGHT:	APPROX. 30'
ACCESSORY SETBACKS:	-
MINIMUM SETBACKS: (PRIMARY)	
FRONT:	15'
SIDE:	10'
REAR:	20'
EXISTING SETBACKS: (PRIMARY)	
NORTH:	47' 6"
EAST:	47' 5"
SOUTH:	58' 6"
WEST:	28' 5"



1 EXISTING SITE PLAN  
A0.10 1" = 50'-0"



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
EXISTING SITE PLAN

Date  
09/09/21

Scale  
AS NOTED

A0.10

NOTE: PRINTED AT HALF SCALE @ 11x17



PROPOSED SITE DATA

PARCEL ID: 22-027  
PLAT: 22  
LOT: 027  
ZONING: R-10  
YEAR BUILT: 1862  
EXIST. FOOTPRINT: 2,709 SF  
TOTAL FOOTPRINT: 3,442 SF  
LOT SIZE (0.48 ACRES): 21,329 SF  
ALLOWED COVERAGE: 20 %  
PROPOSED COVERAGE: 16 %  
ALLOWED BLDG HEIGHT: 30'  
EXISTING. BLDG HEIGHT: APPROX. 30'  
ACCESSORY SETBACKS: -  
MINIMUM SETBACKS:  
(PRIMARY)  
FRONT: 15'  
SIDE: 10'  
REAR: 20'  
EXISTING SETBACKS:  
(PRIMARY)  
NORTH: 47' 6"  
EAST: 47' 5"  
SOUTH: 58' 6"  
WEST: 28' 5"



1 PROPOSED SITE PLAN  
A0.20 1" = 50'-0"

NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

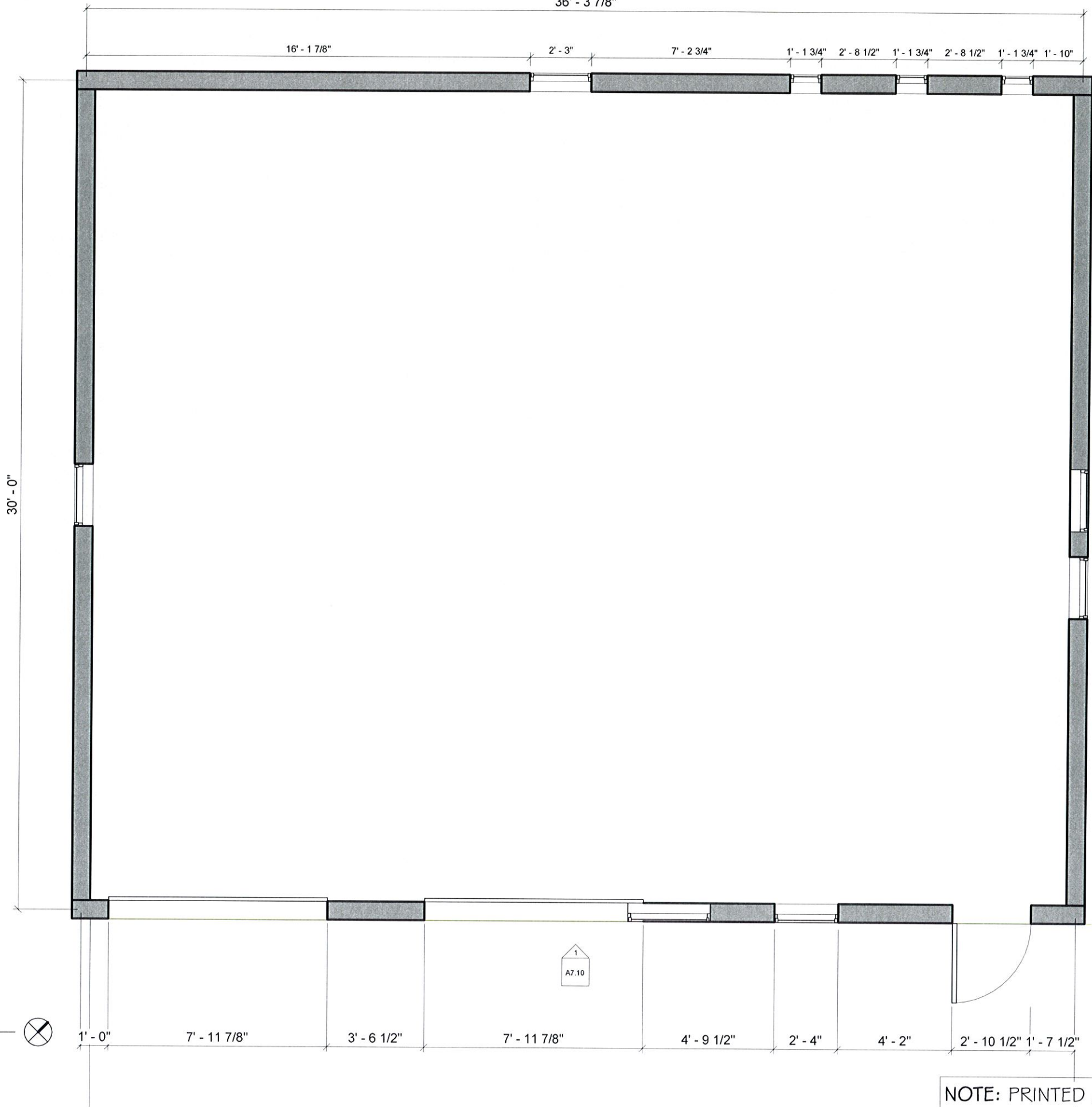
Description:  
PROPOSED SITE  
PLAN

Date 09/09/21  
Scale AS NOTED

A0.20



1  
A1.10  
EXISTING/DEMO PLAN - LEVEL 01  
1/2" = 1'-0"



NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W : www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
EXISTING/DEMO  
PLAN - LEVEL 01

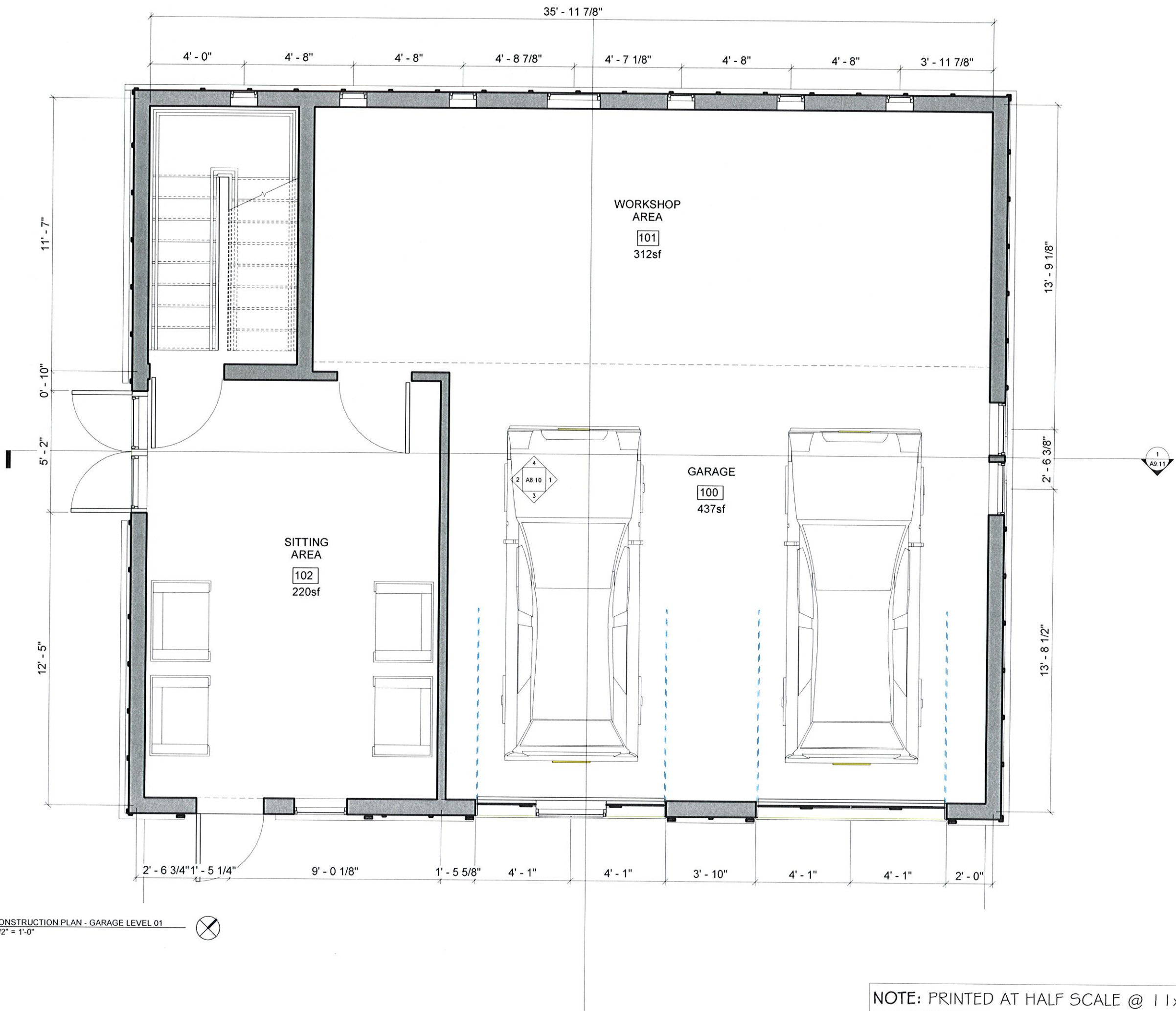
Date  
09/09/21

Scale  
AS NOTED

A1.10



1  
A2.11  
CONSTRUCTION PLAN - GARAGE LEVEL 01  
1/2" = 1'-0"



NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE

+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
PROPOSED  
GARAGE PLAN  
LEVEL 01

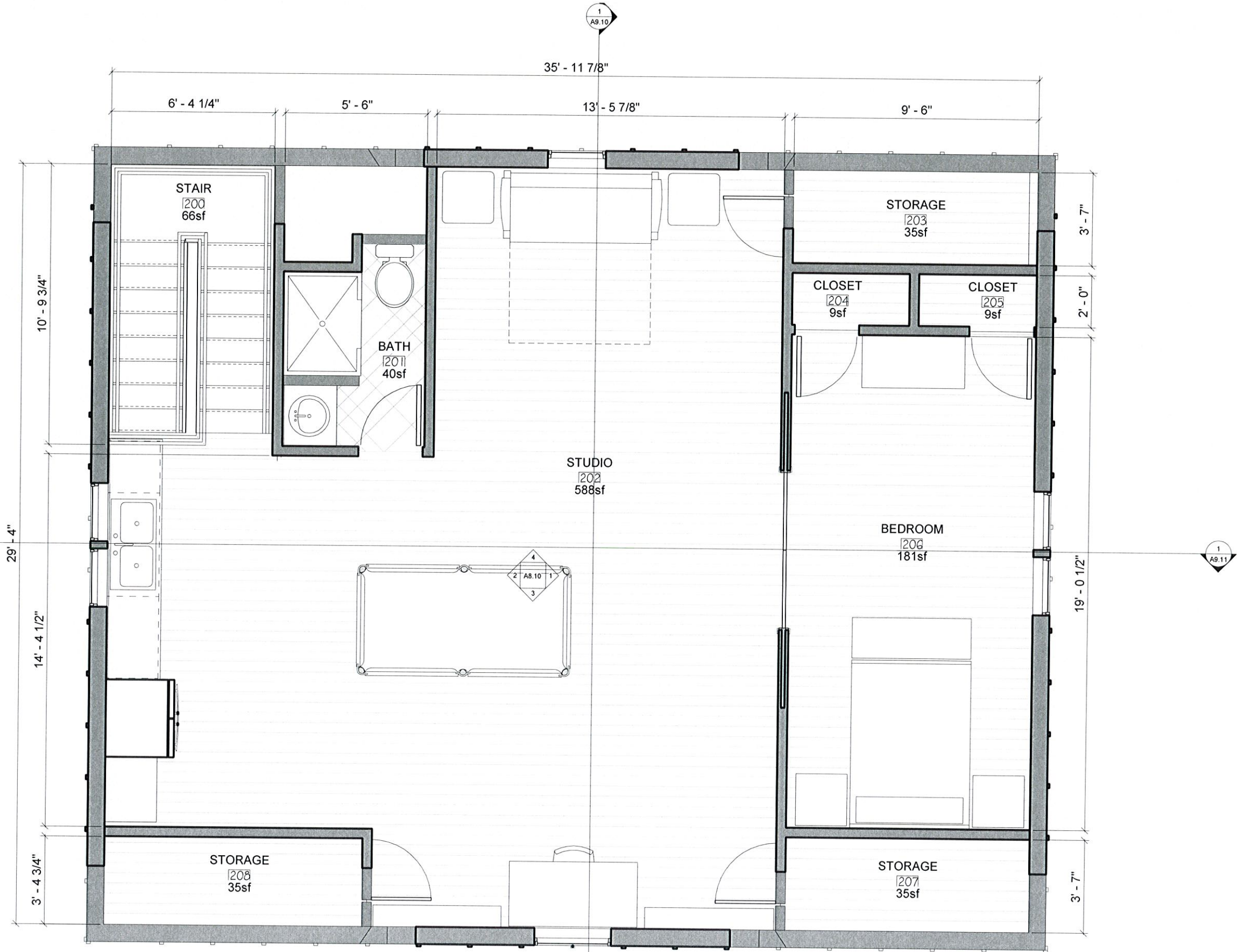
Date  
09/09/21

Scale  
AS NOTED

A2.11



1  
A2.21  
CONSTRUCTION PLAN - GARAGE LEVEL 02  
1/2" = 1'-0"



NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE

+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W : www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
PROPOSED  
GARAGE PLAN  
LEVEL 02

Date  
09/09/21

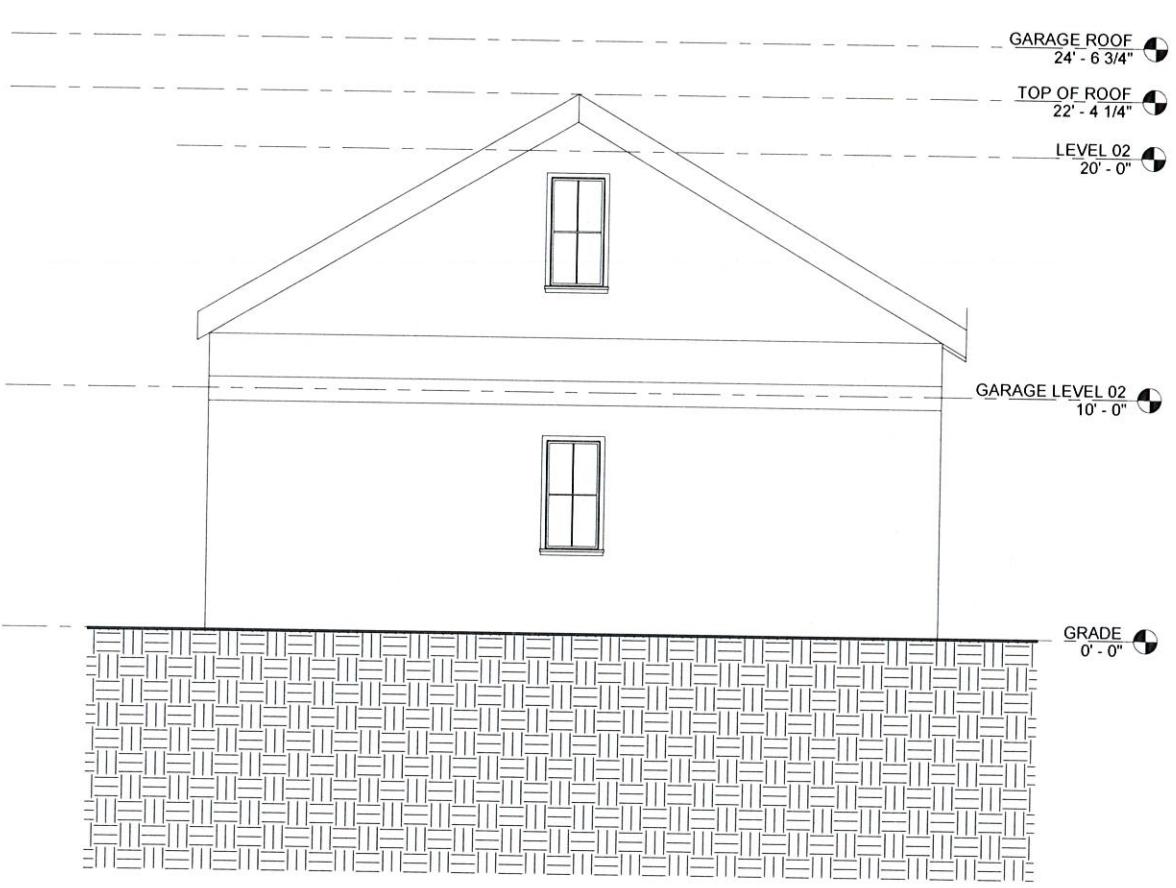
Scale  
AS NOTED

A2.21

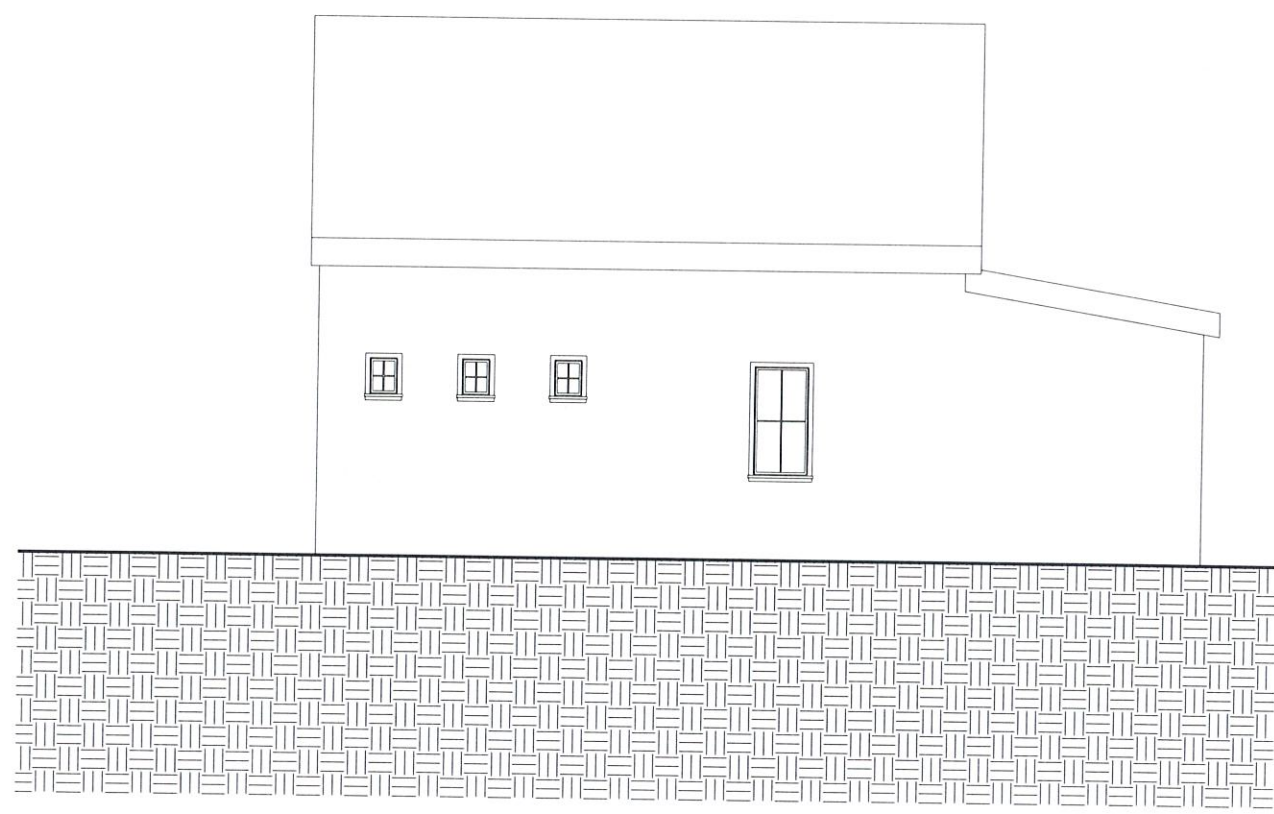




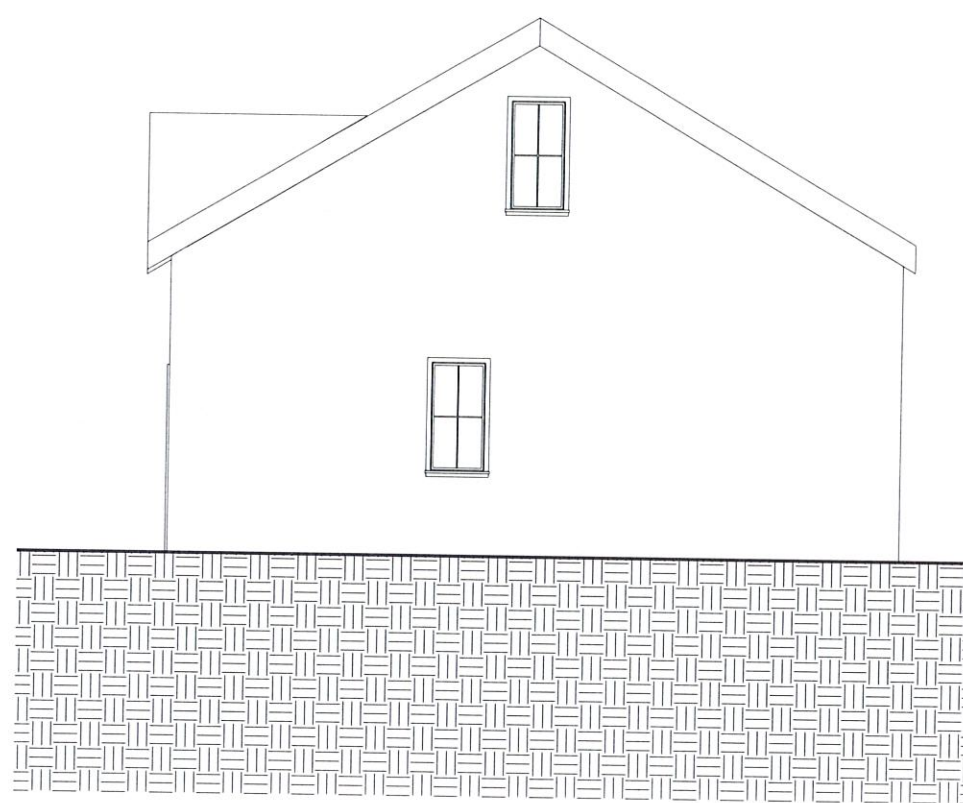
1  
A7.10 EXISTING - SOUTH ELEVATION  
1/4" = 1'-0"



2  
A7.10 EXISTING - WEST ELEVATION  
1/4" = 1'-0"



3  
A7.10 EXISTING - NORTH ELEVATION  
1/4" = 1'-0"



4  
A7.10 EXISTING - EAST ELEVATION  
1/4" = 1'-0"

NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

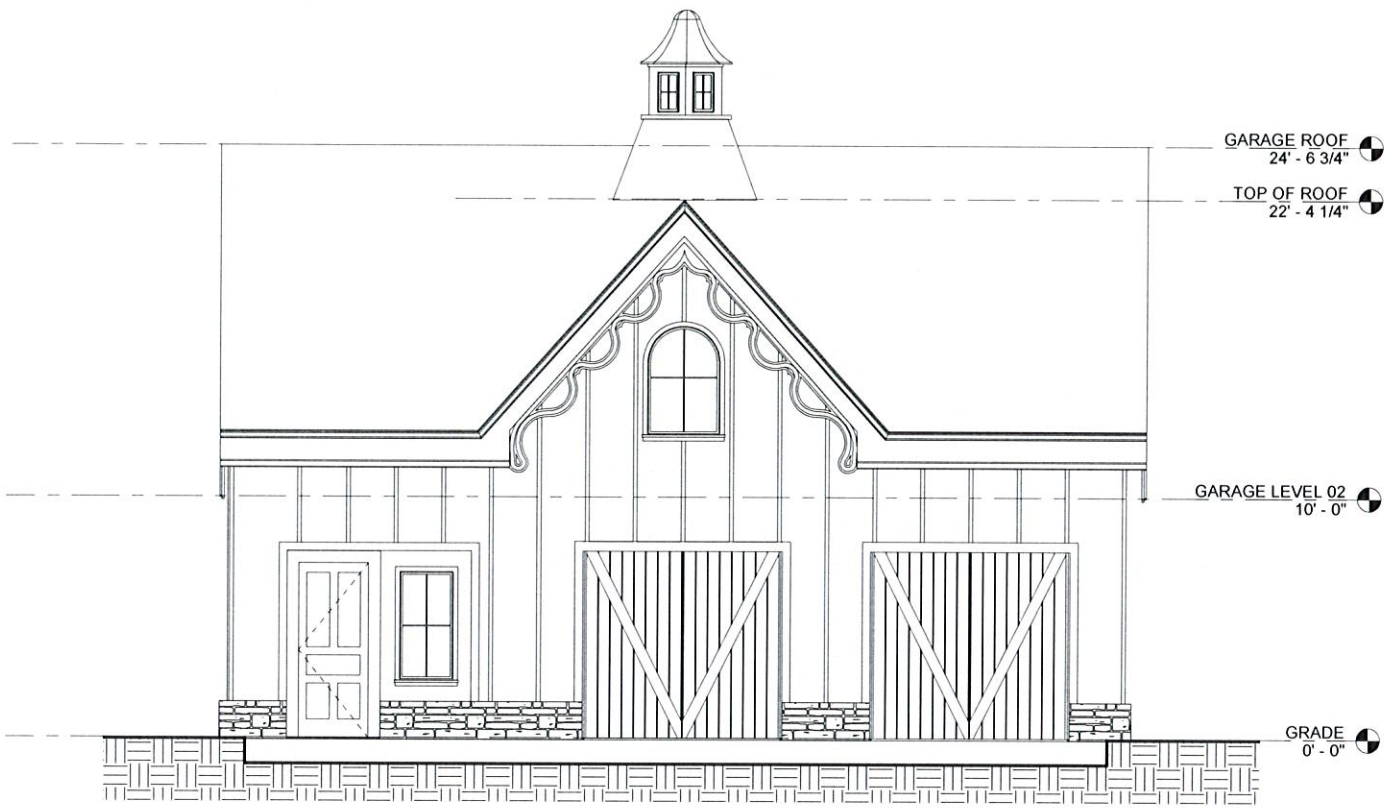
Description:  
EXISTING GARAGE  
ELEVATIONS

Date 09/09/21

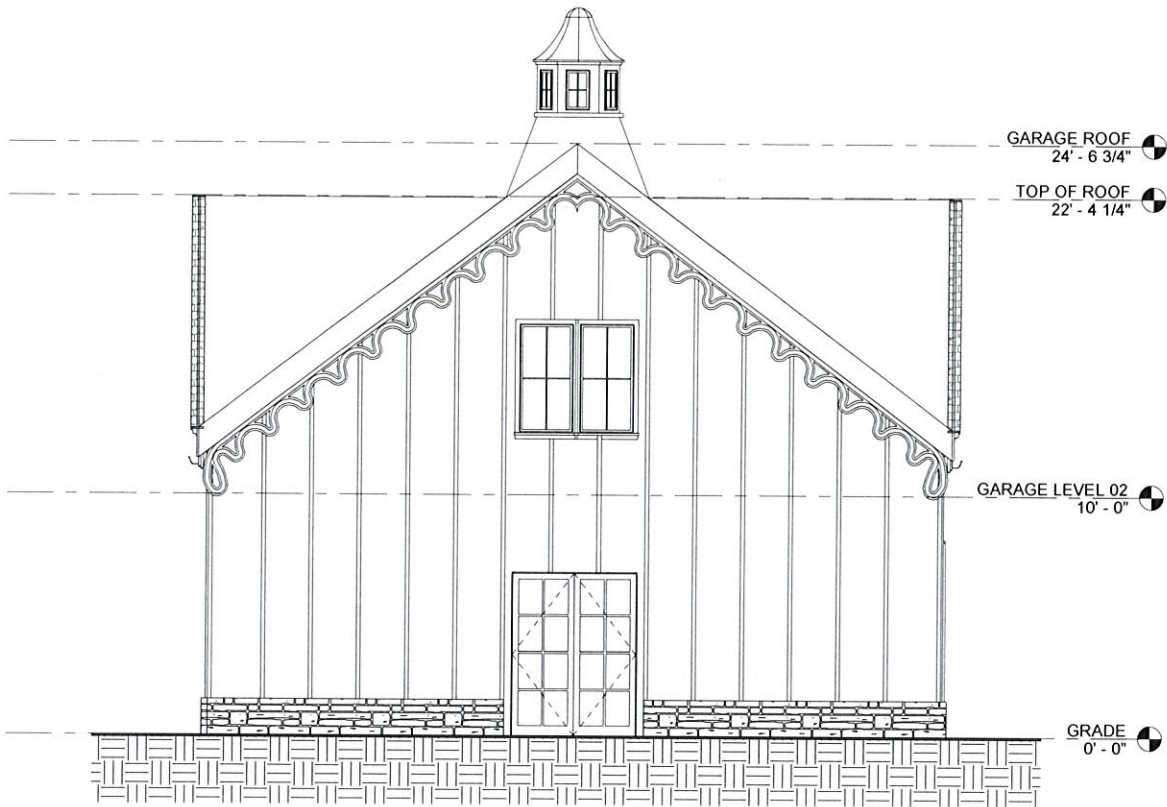
Scale AS NOTED

A7.10

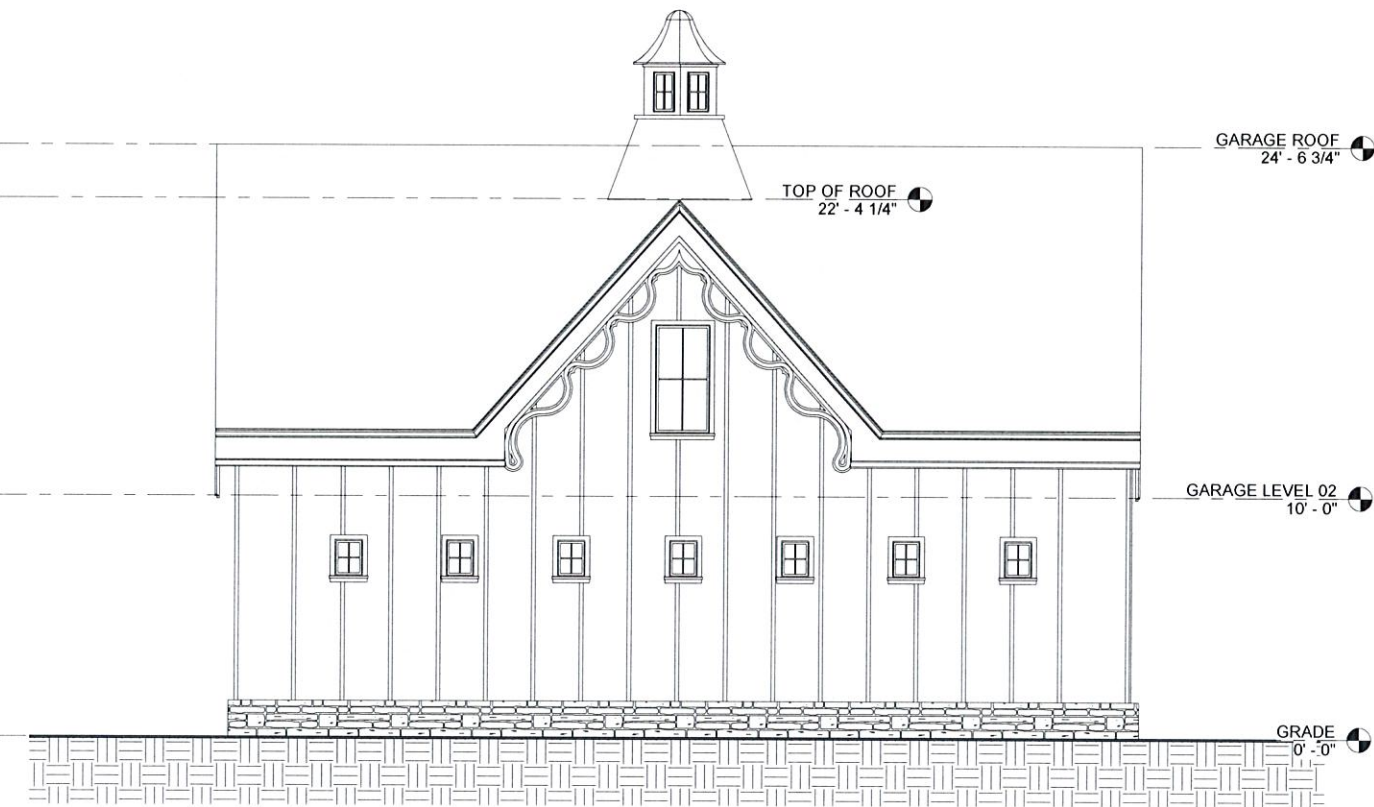




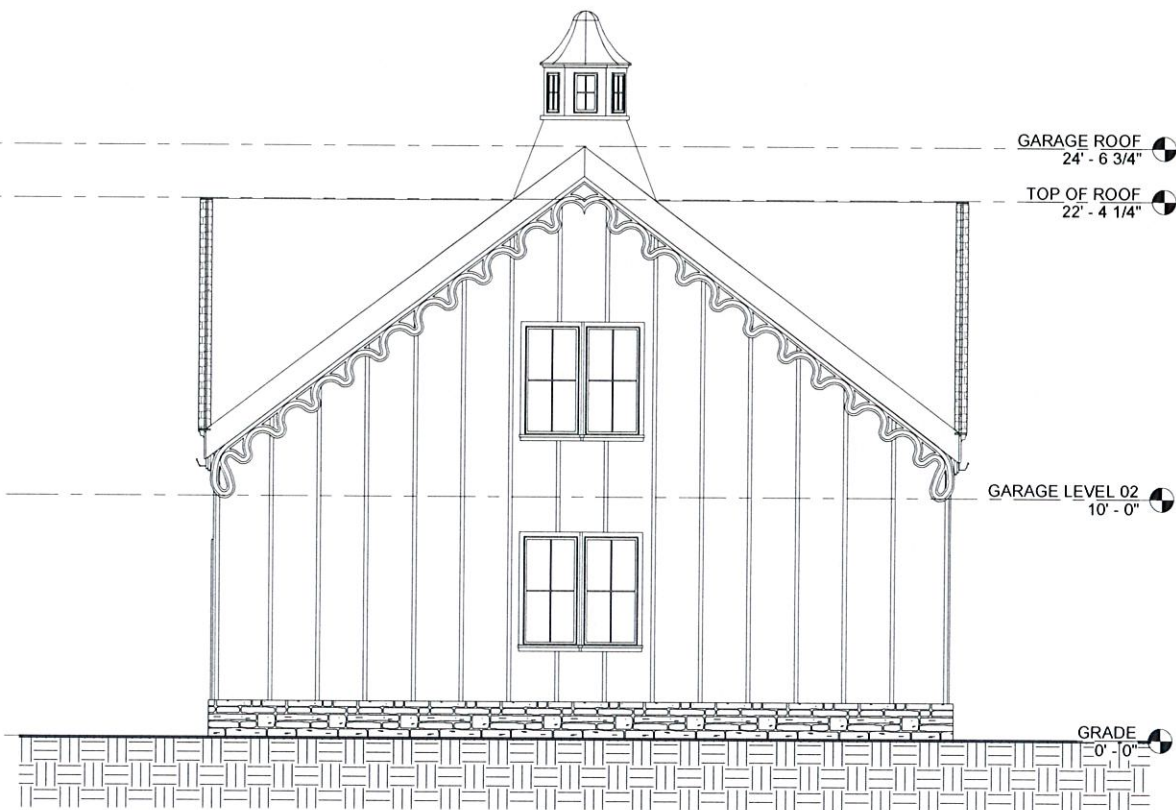
3 PROPOSED - SOUTH ELEVATION  
A7.20 1/4" = 1'-0"



4 PROPOSED - WEST ELEVATION  
A7.20 1/4" = 1'-0"



1 PROPOSED - NORTH ELEVATION  
A7.20 1/4" = 1'-0"



2 PROPOSED - EAST ELEVATION  
A7.20 1/4" = 1'-0"

NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

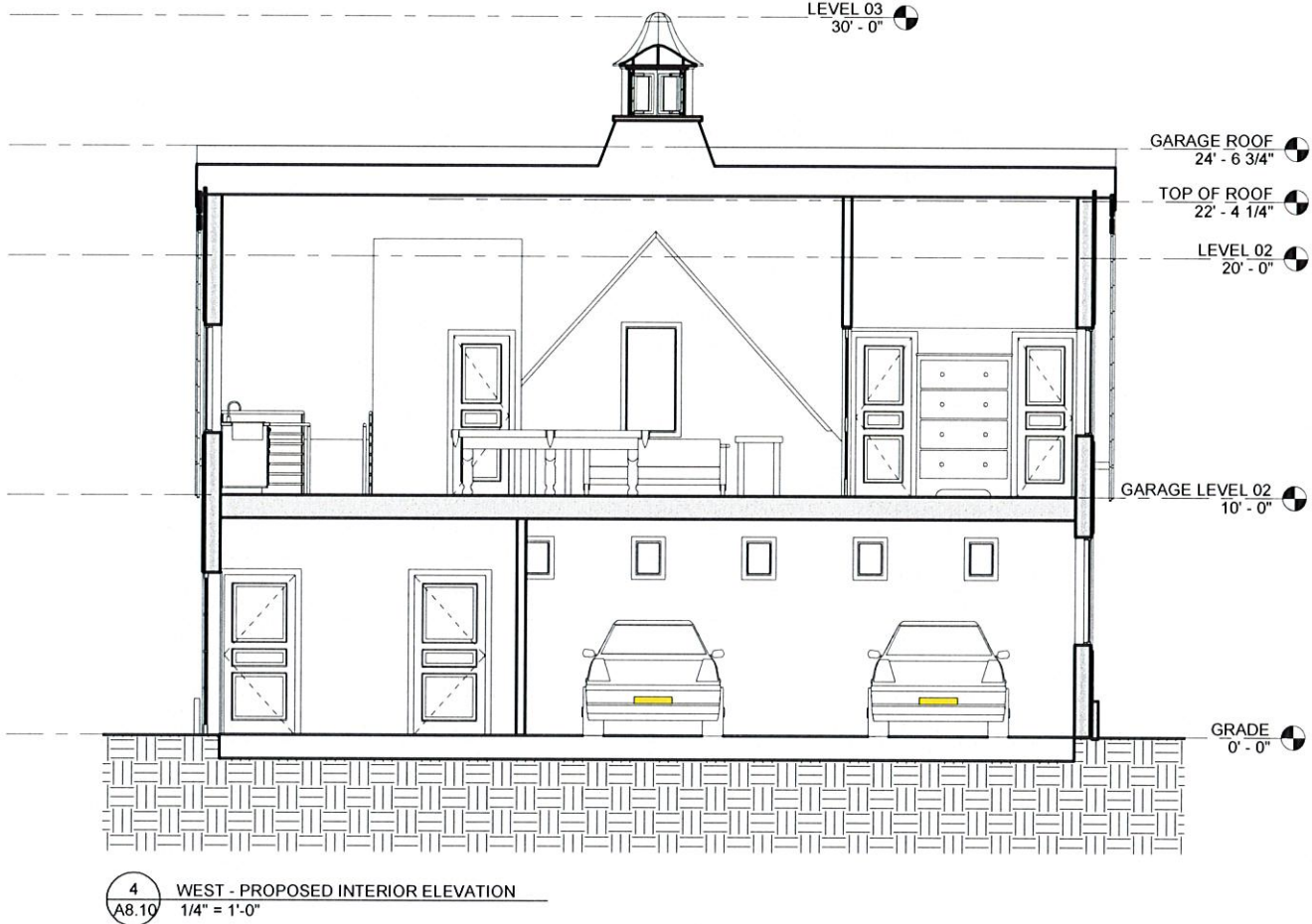
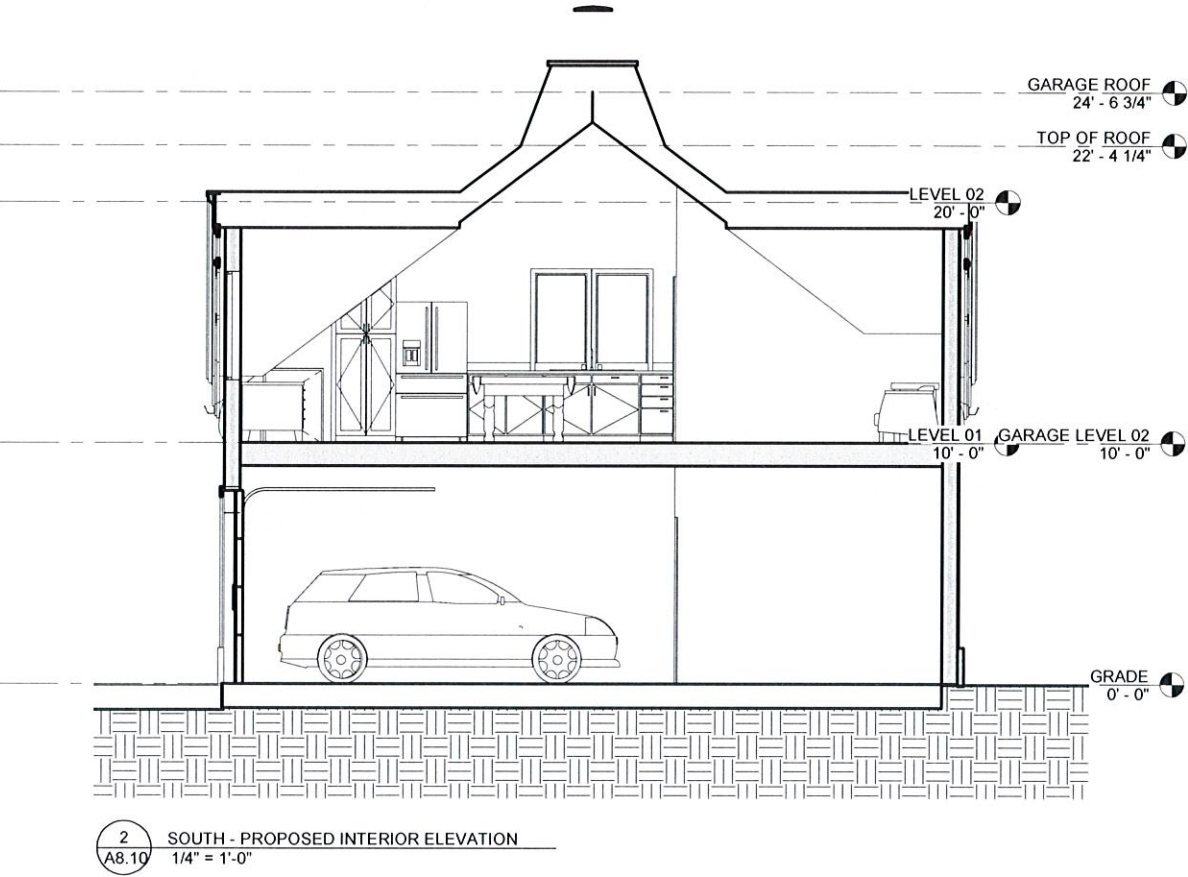
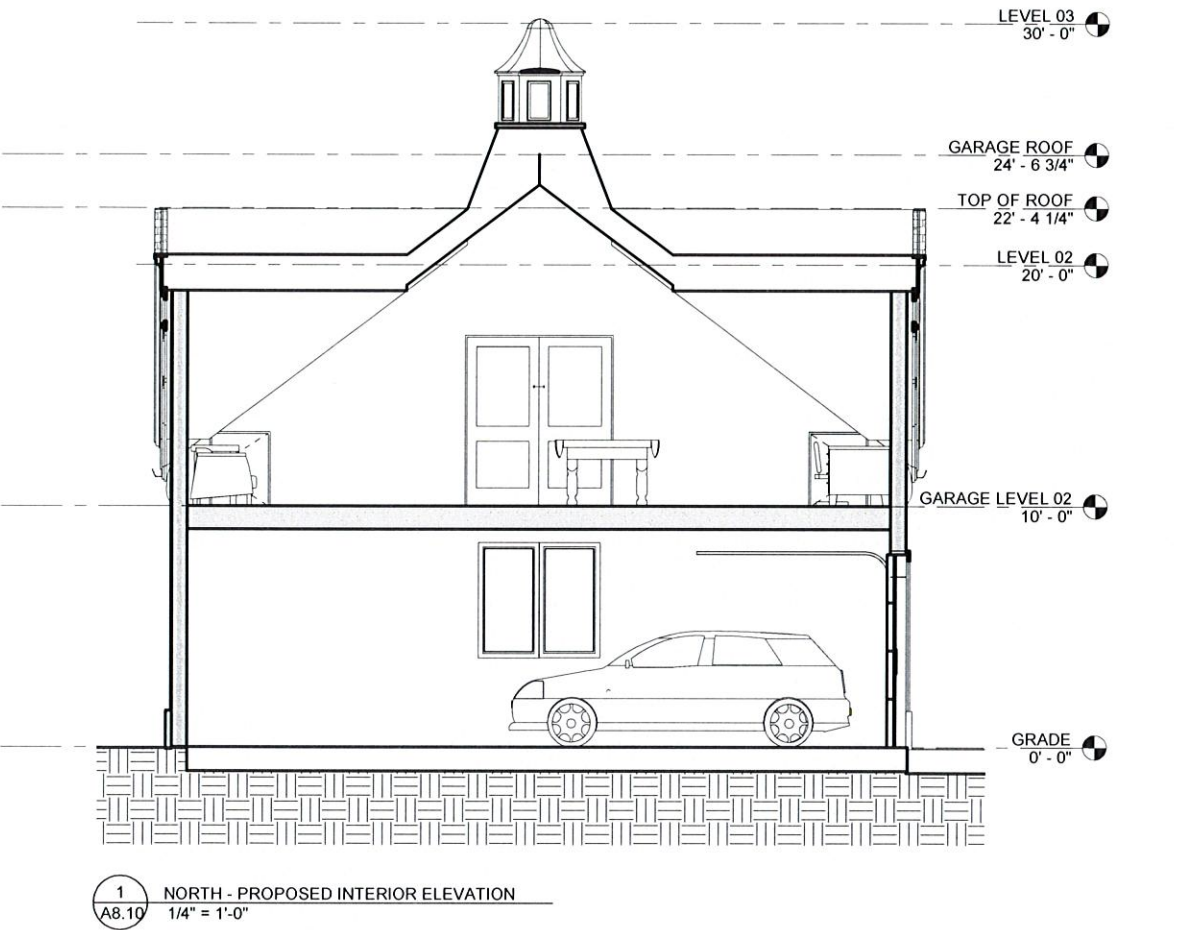
DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
PROPOSED  
GARAGE  
ELEVATIONS

Date 09/09/21  
Scale AS NOTED

A7.20





NOTE: PRINTED AT HALF SCALE @ 11x17

ARCHITECTURE  
+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
PROPOSED  
INTERIOR  
ELEVATIONS

Date 09/09/21

Scale AS NOTED

A8.10





1  
A9.10 PROPOSED NORTH SECTION  
1/2" = 1'-0"

NOTE: PRINTED AT HALF SCALE @ 11x17



**ARCHITECTURE  
+ PLANNING**

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: [www.A4-arch.com](http://www.A4-arch.com)

No.	Description	Date

Project 21006

**DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840**

Description:  
PROPOSED NORTH  
SECTION

Date  
09/09/21

Scale  
AS NOTED

**A9.10**



1  
A9.11  
PROPOSED EAST SECTION  
1/2" = 1'-0"



NOTE: PRINTED AT HALF SCALE @ 11x17



ARCHITECTURE

+ PLANNING

The Post Office Building  
320 Thames Street / 3rd Fl.  
Newport, RI 02840  
T : 401 . 849 . 5100  
F : 401 . 849 . 5108  
W: www.A4-arch.com

No.	Description	Date

Project 21006

DUCKWORTH  
RESIDENCE  
6 GREENOUGH PL.  
NEWPORT, RI 02840

Description:  
PROPOSED EAST  
SECTION

Date  
09/09/21

Scale AS NOTED

A9.11