

#### **NEWPORT HISTORIC DISTRICT COMMISSION**

DEPARTMENT OF ZONING & INSPECTIONS 43 Broadway, Newport, Rhode Island 02840 401.846.9600 (City Hall) 401.845.5357 (Preservation)

Received by the Zoning and Inspections Department:

NOV 2 2 2021

Chack 4-401976

LEVISED HOC DEC Z

#### **APPLICATION FOR CERTIFICATE OF APPROPRIATENESS**

Please complete this application in BLACK or BLUE ink only.

Illegiblelincomplete applications will be returned to the applicant.

Hearing Dates and Filing Deadlines are posted at City Hall and <a href="https://www.cityofnewport.com">www.cityofnewport.com</a>.

#### **GENERAL INFORMATION**

PROPERTY ADDRESS:	Plat:	Lot:
2 - 4 Hazard Avenue (AKA 0 COGGESHALL AVE)	36	030-4
Property Name (if any, including historic):	Original Da	ate of Construction:
	1880	
APPLICANT (Legal Owner of Record):	Telephone:	
Hazard Avenue Limited Partnership	Email:	
Mailing Address: 4 Hazard Avenue Newport, RI 02840		
LEGALLY AUTHORIZED REPRESENTATIVE:	Telephone:	2-291-1482
Phyllis T. Higgerson	Email: high	gersonfamily@gmail.com
Mailing Address:		
4 Hazard Avenue Newport, RI 02840		

#### **ADDITIONAL INFORMATION CHECKLIST**

M (A)	Is the application fee included? (See attached General Fee Schedule) (\$150)	
YN	Is the property in condominium ownership? If yes, proof of board or association appro	val must be attached
Y 🚺	Is this application filed in response to a violation notice?	
Y 🔯	Is this application a modification of plans previously-approved (date(s)	) by the HDC?
Y	Does this project require other approvals? Zoning CRMC Other (describe):	Roofing permit
Y 🔇	Does access to the subject property require special arrangements?	

#### SUMMARY OF PROPOSED WORK

Describe all proposed exterior alterations to the subject property here.

Do not leave this section blank.

Check off all applicable categories below.

#### The scope of proposed work:

- 1) The removal of failing black slate on all roof elevations and roof sheathing repair;
- 2) The replacement of black slate with a proposed synthetic shingle pls see attached specification sheet
- 3) Restoration of historically correct gutter and wood crown and downspouts
- 4) Replacement of copper seamed roof at south elevation with same.
- 5) Replacement of copper flashing with same.

As well for consideration for Historic review: To be coordinated with roofing installation: Installation of PV solar arrays as per the attached 3-model and specification

- N Repair/replacement of exterior architectural features?

  Y Minor Alteration(s) Any alteration(s) that replace existing buildin
- Y Minor Alteration(s) Any alteration(s) that replace existing building features <u>or</u> any new construction of less than 25% of the existing structure's square footage?
- Y Major Alteration(s) Any addition(s) of *more* than 25% of an existing structure's square footage <u>or</u> any new freestanding structure(s)?
- Y New Construction?
- N Demolition?
- N Roof(s) or skylight(s)?
- Y Window(s) or door(s)?
- Y M Porches or Entries?
- Y M Chimney(s)?
- Y Y Foundation?
- Y Mechanical and/or electrical equipment?
- Y M Shutters or awnings?
- Y M Sign(s)?
- Y M Pools and/or site structures?
- Y N Other? Describe: Solar Voltaic roof top installation

#### REQUIRED APPLICATION MATERIALS

#### PLEASE READ CAREFULLY TO CONFIRM THAT ALL REQUIRED MATERIALS ARE INCLUDED IN COMPLETED APPLICATION PACKET.

All HDC application materials must be submitted on 8.5x11or 11x17 paper, single-sided, to facilitate electronic scanning, posting and archiving.

#### 10 COPIES OF EACH APPLICATION ARE REQUIRED. 1 DIGITAL COPY OF ALL MATERIALS SHOULD BE SUBMITTED TO PRESERVATIONCOA@CITYOFNEWPORT.COM

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	MN	COMPLETED APPLICATION FORM AND 10 COPIES OF EACH REQUIRED MATERIAL (PHOTOGRAPHS, DRAWINGS AND MATERIALS/PRODUCT LITERATURE/SAMPLES) INCLUDED?
	MN	PHOTOGRAPHS?
		Ten (10) color copies of color photographs (4" x 6" or larger) clearly depicting current existing conditions at the property are required for all applications. Include a minimum of one (1) street view of the property showing any portions of the building(s) that are visible and a minimum of one (1) photograph of each elevation that will be affected by the proposed work. Photographs must be submitted on 8.5x11 or 11x17 paper. Prints are not accepted. Date and legal address of subject property should be indicated on all photographs. Including historic views of the subject property is encouraged.
		DRAWINGS?
	MN	If drawings are required, one (I) original drawn scale set should be submitted along with ten (10) copies of the original, reduced to fit on 8.5x11 or 11x17 paper. Drawings must include date, scale, cardinal points (N, S, E and W) and proposed materials. If the application proposes modifications to a plans previously approved by the HDC, an 11x17 copy of the previously-approved drawings must be included along with new drawings depicting proposed modifications. Please note that applications for any major construction require drawings that meet professional standards.
		Elevation drawings are required for most projects and should show existing conditions and proposed alterations at all elevations that will be affected by proposed work. ( $1/4$ " = $1$ ' scale or larger for most residential-scale projects)
		Elevation detail and cross section drawings are required for proposed projects (including new construction and major alteration) that involve new or altered windows, doors, dormers, porches, trim elements and other new or altered architectural features. (3/4" = 1' scale or larger)
		Full scale details are required for certain proposed new architectural elements (moldings and other trim elements, for example.)
		Site plan is required for any alteration to existing building footprints, including proposed free-standing construction or additions to existing buildings as well as for the addition of at-grade mechanical equipment. (1 = 20' scale or larger)
		Perspective drawings (or some other form of perspective depiction, such as photomontage) may be required for proposed new free-standing construction or substantial alteration of existing buildings or sites.
-	MN	MATERIALS/PRODUCT LITERATURE/SAMPLES?
	نصا لسا	Ten (10) copies of product literature and/or manufacturer specification sheets for stock items should also be submitted. Material samples are requested on a case-by-case basis, but are generally required for any proposed new construction or substantial alteration of existing buildings.

#### **SIGNATURE**

I certify that (i) I am the Legal Owner of Record or legally authorized to sign on behalf of the property's Legal Owner of Record and (ii) all of the information provided in and with this application is true and accurate to the best of my knowledge.

Applicant Signature:	Phyllis T Higgerson	Date: _	10/20/2021	
Applicant Printed Name: _	Phyllis T. Higgerson	<u>.</u>		

### 0 Coggeshall Ave Newport



#### Newport Solar

Name: Casey Ackerman
Email: casey@newportsolarri.com
Phone Number: 401 210 1556

#### Prepared For:

0 Coggeshall Avenue, Newport, Rhode Island 02840, United States

#### PV System Info

Size: 20.400kW DC STC -

Annual Production: 23,720kWh -

Annual Solar Access: 95%

Offset: 0%









GO TO 3D MODEL OF DESIGN



Achieving over 20% efficiency, Solaria PowerXT solar panels are one of the highest power panels in the residential and commercial solar market. Compared to conventional panels, Solaria PowerXT panels have fewer gaps between the solar cells; this leads to higher power and superior aesthetics. Solaria PowerXT Pure Black<sup>TM</sup> panels are manufactured with black backsheet and frames, enhancing a home or building's architectural beauty.

#### Higher Efficiency, Higher Power

Solaria PowerXT panels achieve over 20% efficiency; conventional panels achieve 15% – 17% efficiency. Solaria PowerXT panels are one of the highest power panels available.

#### Lower System Costs

Solaria PowerXT panels produce more power per square meter area. This reduces installation costs due to fewer balance of system components.

#### Improved Shading Tolerance

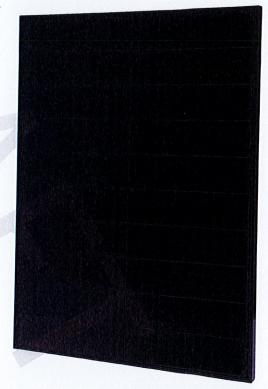
Sub-strings are interconnected in parallel, within each of the four panel quadrants, which dramatically lowers the shading losses and boosts energy yield.

#### Improved Aesthetics

Compared to conventional panels, Solaria PowerXT panels have a more uniform appearance and superior aesthetics

#### **Durability and Reliability**

Solder-less cell interconnections are highly reliable and designed to far exceed the industry leading 25 year warranty.



#### About Solaria

Established in 2000, The Solaria Corporation has created one of the industry's most respected IP portfolios, with over 250 issued and pending patents in PV solar cell and module technology. Headquartered in Oakland, California, Solaria has developed a technology platform that unlocks the potential of solar energy.





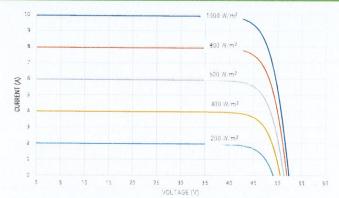
400R-PM	
400	
20.2	
51.1	
9.82	
42.4	
9.41	
-0/+3	
	400 20.2 51.1 9.82 42.4 9.41

Performance at NOCT (800W/m², 20°C Amb, Wind 1 m/s, AM 1.5)			
Max Power (Pmax)	[W]	295	
Open Circuit Voltage (Voc)	[V]	48.1	
Short Circuit Current (Isc)	[A]	7.92	
Max Power Voltage (Vmp)	[V]	40.0	
Max Power Current (Imp)	[A]	7.59	

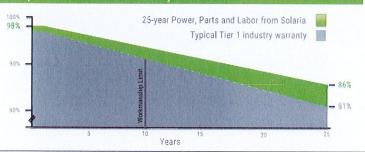
Temperature Characteristics			
NOCT	[°C]	45 +/-2	
Temp. Coeff. of Pmax	[% / °C]	-0.39	
Temp. Coeff. of Voc	[% / °C]	-0.29	
Temp. Coeff. of Isc	[% / °C]	0.04	

Design Parameters		
Operating temperature	[°C]	-40 to +85
Max System Voltage	[V]	1000
Max Fuse Rating	[A]	15
Bypass Diodes	[#]	4

#### IV Curves vs. Irradiance (400W Panel)



#### Comprehensive 25-Year Warranty



#### Mechanical Characteristics

Cell	Гуре	Monocrystalline Silicon
Dime	nsions (L x W x H)	64.72" x 47.4" x 1.57"
Weig	ht	1644mm x 1204mm x 40mm 21 kg / 46 lbs
Glass	Type / Thickness	AR Coated, Tempered / 2.8mm
Fram	е Туре	Black Anodized Aluminum
Cable	e Type / Length	12 AWG PV Wire (UL) / 1000mm
Conn	ector Type	MC4
Junc	tion Box	IP67 / 4 diodes
Front	Load	5400 Pa / 113 psf*
Rear	Load	2400 Pa / 50 psf*
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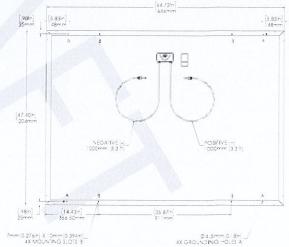
\* Refer to Solaria Installation Manual for details

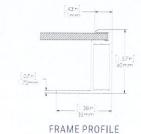
#### Certifications / Warranty

Certifications	UL 61730/UL1741/CEC
	CAN/CSA-C22.2
Fire Type (UL 1703)	1
Warranty	25 years*
* Warranty details at www solaria com	

#### Packaging

Stacking Method	Horizontal / Palletized
Panels/ Pallet	25
Pallet Dims (L x W x H)	66.57" x 48.7" x 48.4"
	1691mm x 1238mm x 1230 mm
Pallet Weight	590 kg / 1300 lbs
Pallets / 40-ft Container	18
Panels / 40-ft Container	450



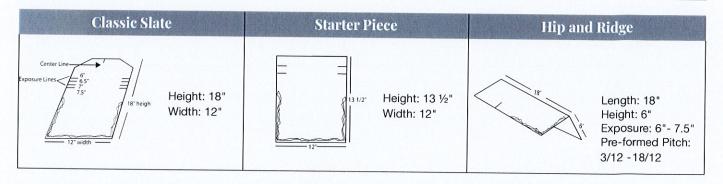




#### ONLY BASIC ROOFING TOOLS REQUIRED

- Hand fastened or fastened with a pneumatic nail gun
- Utility knife or a standard circular saw
- Tape measure, pry bar, tin snips
- Chalk line with blue chalk (do not use red chalk)

#### PRODUCT SPECIFICATIONS



Exposure	Pieces / Bundle	Pieces/ Square	Lbs./ Square	Bundles/ Square	Squares / Pallet
7.5" exposure	25	160	240	6.4	6.25
7" exposure	25	172	258	6.88	5.8
6.5" exposure	25	185	278	7.4	5.4
6" exposure	25	200	300	8	5

Product Ratings and Certifications	
Hail Rating – UL2218 Class IV	
Fire Rating - Class A or Class C	
TAS – 100 (110 mph wind driven rain)	
ESR-2745	

Accessory Items	
Original Snow Guard	100 per box
1½" Stainless Steel Ring Shank Coil Nails	7,200 pcs. per box
1½" Stainless Steel Ring Shank Hand Nails	3,475 pcs. per 25 lb box
Roofing Underlayment	Boral* Ply 40 (2 square coverage roll)

<b>Exposure Requirement</b>	ents
Roof Slope	Classic Slate Exposure
5:12 and above	6", 6.5", 7", 7.5"
3:12-5:12	6"

Classic Hip & Ridge (Class A / Class C)	
Lbs. per piece	1.5
Lbs. per bundle	38
Pieces per bundle	25
Tiles per lineal foot	2
Lineal feet per bundle (6" exposure)	15.5
Lineal feet per bundle (7.5" exposure)	12.5

Classic Starter	
Lbs. per piece	1
Lbs. per bundle	25
Pieces per bundle	25
Tiles per lineal foot	1
Lineal feet per bundle	25



#### **GETTING STARTED**

#### Preparation:

- Under all circumstances, existing roofing materials must be removed down to the substrate, prior to installation.
- The surface area must be uniformly flat, smooth, sound, clean and free of irregularities,
- Examine roof sheathing to verify that sheathing joints are supported by framing and blocking and/or metal clips.
- Verify that substrate is sloped for drainage and completely anchored to sound framing. Any foreign particles shall be cleaned
  from interlocking areas to ensure proper seating and to prevent moisture intrusion and ice damming. Proper provisions must
  be made for flashings and roof penetrations.
- Even though metal flashing and other specialty flashings may not be the responsibility of the roofing contractor, these items must be in place prior to slate installation. Work by other trades which penetrate the roof plane must be completed.

**Storing the Product:** For proper installation, the slates need to be stored on the original pallet, on a flat surface. Proper storage of the product at the jobsite is important. Classic Slate should not be stored on roof decks in such a manner as to over-stress and/or damage the deck and supporting structure. The slates are cambered to ensure that maximum pressure is transferred to the leading edge of the slate during installation. **Do not double stack pallets.** 

**Work Conditions**: Perform work when existing and forecasted weather permits. Work should be performed in a safe, professional manner and ambient weather conditions are within the limits listed below. Be sure to follow the manufacturer's installation requirements for all underlayment and any other applications. Comply with any and all local building code requirements. **Note of Caution:** The slates can be slippery under certain conditions and jobsite safety procedures should be enforced.

**Cold Weather Installation:** Slates should be stored in original packaging in a storage facility where the temperature meets or exceeds 45°F. Use protective coverage over all pallets while being temporarily stored on-site. Roof slates must be conditioned at a temperature no lower than 45°F for twenty-four (24) hours prior to use. Slates may be installed at temperatures as low as 32°F hand fastened. or with a pneumatic gun.

#### **Recommended Materials:**

- The choice of metals and fasteners should be consistent in material.
- · Building materials must last the lifetime of the roofing tiles.
- Inspire: by Boral Roofing Products does not warranty components of the roof system not manufactured by Inspire by Boral.

RING SHANK NAIL FASTENERS (Note: Stainless steel ring shank nails are required in coastal regions.)			
	Head Ø	Length	Material
Tile	3/8"	1 ½"	Stainless steel, hot dipped galvanized or copper
Vented Ridge	3/8"	3"	Stainless steel, hot dipped galvanized or copper

ACCEPTABLE SHEATHING	
Roofing Decking Materials	Thickness
Plywood	Minimum of 15/32"
Solid Wood	Minimum of 15/16"
Oriented Strand Board (OSB)	Minimum of 7/16"

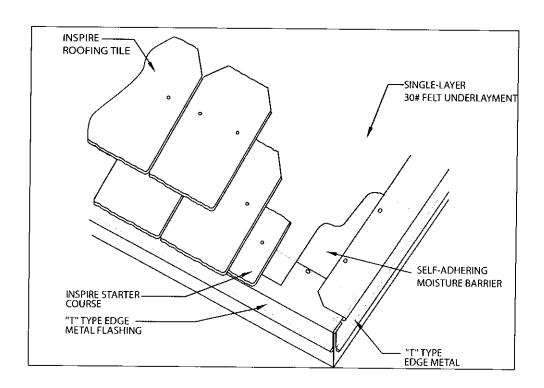
METAL RECOMMENDATIONS	
Material	Minimum Requirement
Copper	16 oz
Aluminum	.030
Steel	26 gauge



#### **INSTALLATION**

Underlayment: Underlayment is an extra layer of protection on your roof, required by most building codes.

- Self-Adhering Ice and Water Barrier In areas where the average winter temperature drops below 25° F a self-adhering ice and water barrier should be installed. At eaves the barrier should extend 2' beyond the interior wall and 3' for all sidewalls, headwalls, valleys, rakes and root penetrations. Be sure to follow underlayment manufacturer installation recommendations and observe your local building codes.
- Install the recommended underlayment on all parts of the roof deck not covered by the self-adhearing ice and water barrier. Lap edges of underlayment over self-adhering ice and water barrier no less than 2" in direction to shed water. Lap ends of felt no less than 6" over self-adhering ice and water barrier. Underlayment should not be placed under the self-adhering ice and water barrier and should overlap a minimum of 2". Side laps should be no less than 6".
- Class C Fire Rating Single-layer Boral Ply 40. Single-layer ASTM D-226 #30 Felt Underlayment, or equivalent to or better: Underlayment should be preserved unbroken, tight and whole. Install perpendicular to roof slope in parallel courses. Install to manufacturer specifications with design minimum of: lap sides of successive courses a minimum of 2" over each underlying course. Lap ends a minimum of 6".
- Class A Fire Rating Underlayment as per Inspire by Boral Evaluation Reports.



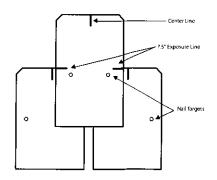


#### **Fasteners:**

- Caution should always be used to prevent over under penetration of the fastener.
- Two fasteners must be placed in the proper nail target areas on each tile. Improper fastening can compromise the roof system and voids the manufacturer warranty.
- Fastener must penetrate roof decking at least 3/4".

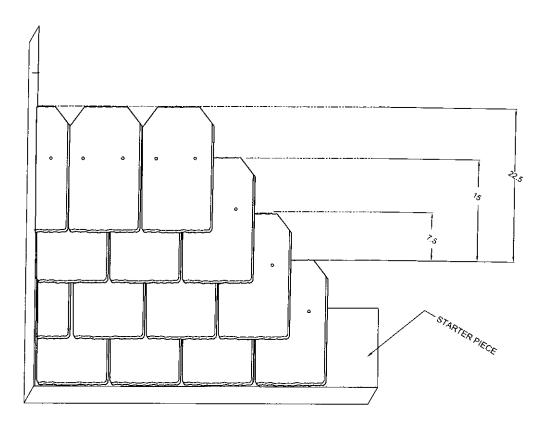
#### Starter and First Course:

- Starter tiles should hang past the drip edge a minimum of 1,2" and no more than 1-1/2" and should be fastened in the target areas provided.
- The gap between starter tiles should be approximately 1-4".
- The first course of slate should be installed even with the buttledge of the starter course.
- The vertical joints between the starter and first course and all succeeding courses should be a minimum of 2". This ensures that nails are covered by the next course and no through joints from roof surface to underlayment are exposed.



#### **Straight Courses:**

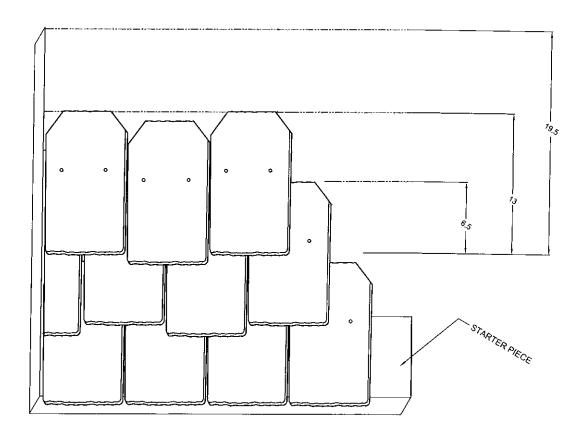
- Strike horizontal chalk lines at the desired exposure level, to ensure that the slates are installed straight and uniform, 75" is the maximum exposure when installing straight courses for roof pitches 5/12 and above.
- 7.5", 7", 6.5" and 6" exposure marks are provided on each tile. These are used by placing the mark on the top of the tile of the proceeding course.





#### **Staggered Courses:**

- The first course should be installed directly over the starter course. The first Chalk line should be 6.5" from the top of the first course.
- The top of the first slate should be placed on the chalk line. The next slate should be placed 1" below the chalk line.
- 6.5" is the maximum exposure when installing staggered courses for roof pitches below 4.12.

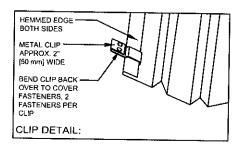


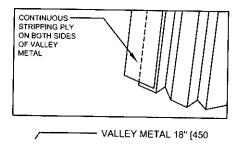


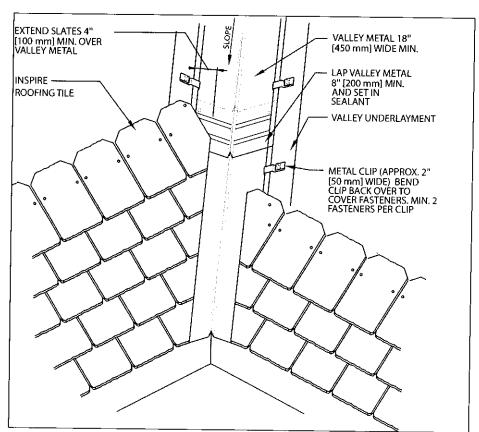
Valleys: A valley is created at the downslope intersection of two roof planes.

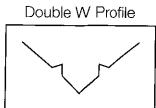
- Install a full 36" piece of ice and water shield centered through the entire valley.
- Fasten the valley every 2' using metal cleats.
- States must cover valley flashing by a minimum of 4", make sure not to drive fasteners from states into the valley flashing.
- An open or closed vailey may be used.

**Open Valley Design:** Open is good for snow, ice and debris. For an Open Valley Design a double "W" Valley is recommended to avoid seeing the structural ribbing.



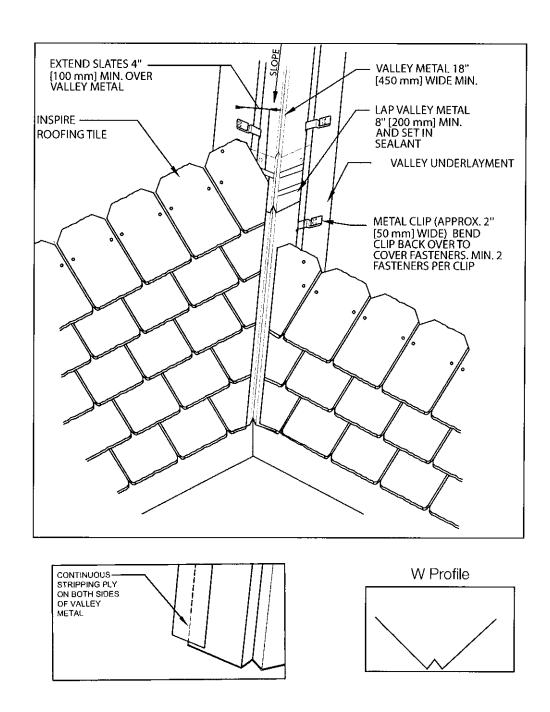








**Closed Valley Design:** For a Closed Valley, a Single Diverter "W" Valley or Standing I Seam valley should be used. Slates should be butted next to the diverter.

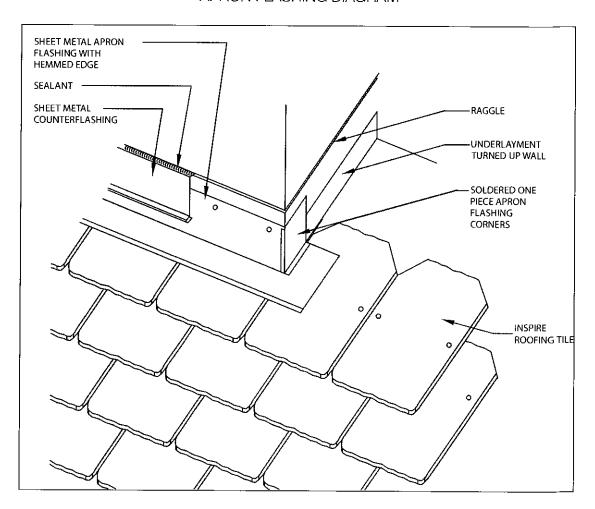




**Flashings:** Flashings should be used around all roof penetrations, such as wails, chimneys, dormers, vent pipes, or skylights.

**Apron (Roof to Wall) Flashing:** Apron flashing is used when a roof terminates to a wall causing a course to be cut and face nailed. It is installed over the slates and behind siding or countercap flashing.

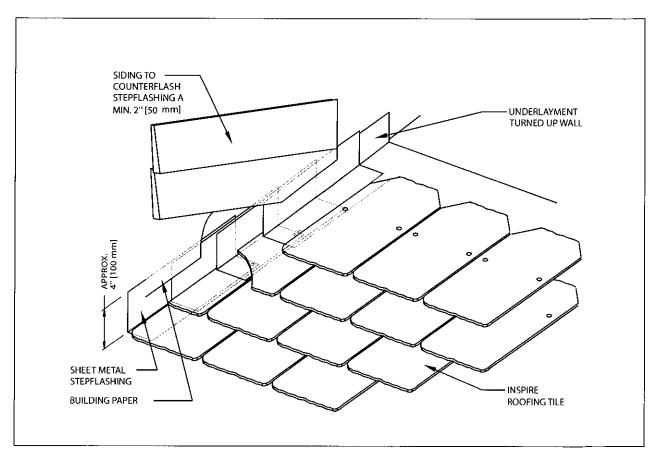
#### APRON FLASHING DIAGRAM





**Step Flashings:** When a pitched roof comes into contact with a vertical wall, individual pieces of metal flashing should be installed at the end of each slate to prevent water intrusion. Step flashings should extend under the uppermost row of the roof slate, at least 4" over the slate immediately below the metal. The vertical leg of the metal should be turned up a minimum of 4" and extend 4" on the slate with an optional 3:4" hem. Flashings should have a minimum length of 12" and must overlap a minimum of 2".

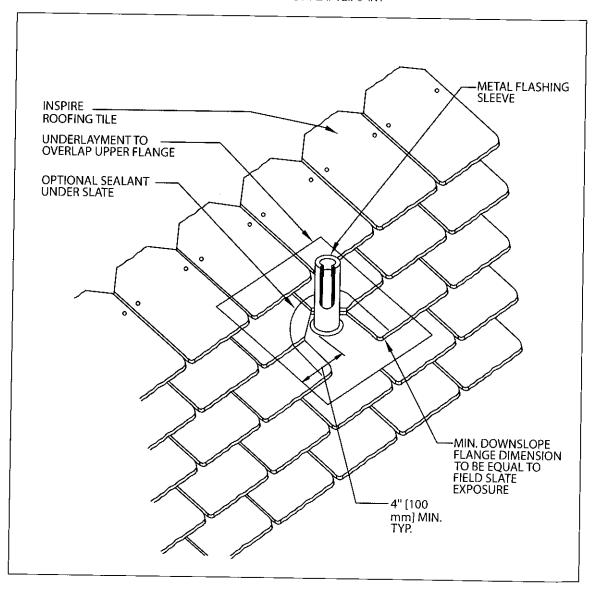
#### STEP FLASHING DIAGRAM





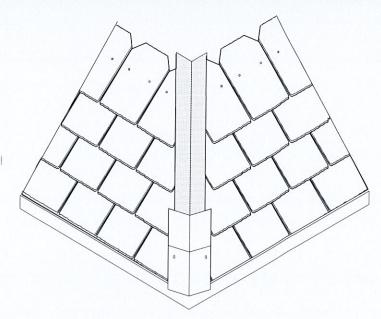
**Vent, Pipe & Other Penetrations:** Penetrations through the roof deck require a flat flange around the penetration. The flashing should be placed above the penetration and on top of the slate and below the penetration.

#### SOIL STACK DIAGRAM



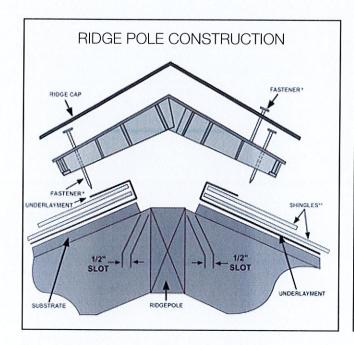
#### Hip and Ridge Detail:

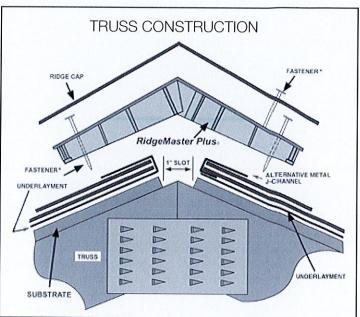
- When pre-formed hip & ridge slates are used, nail in designated target area. Fasten hip slates with 2 fasteners (one on each side).
- Use a max exposure of 7.5".
- Chalk a straight line by placing one piece of hip at the eave and one near the peak, hold the chalk line at the edge of the slate on the top and bottom pieces. This will help keep the hip straight in the event of a crooked hip.
- Cover exposed heads of fasteners with an adhesive sealant compatible with the slate.
- Preformed hip and ridge slate require 3" length fasteners.
- Fastener must penetrate deck a minimum of 3/4".



**Ridge Vent:** During winter months ventilation is a key factor to remove moisture from the attic. Warm moist air inside a building travels up toward the attic. Problems occur when water vapor comes in contact with cold building materials and condenses. The structural elements of the attic will absorb moisture and over time may lead to rotting wood and/or mold. For balanced ventilation system split between the ridge and soffit, 1 square foot of net free area is required for every 300 square feet of attic floor space. It is required to have 1 square foot of ventilation for every 150 square feet of attic floor space if this balance cannot be achieved. Ventilation is necessary for extended life of the roof system. Inspire by Boral Roofing Products will not warranty an un-vented roof and/or improperly vented roof system.

Below are diagrams of Roof Truss and Ridge Pole construction applications. We recommend using RidgeMaster Plus with 3" roofing nails.





#### ABOUT BORAL ROOFING

Boral Roofing LLC is a subsidiary of Boral USA and is the country's largest premium provider of complete roofing and reroofing solutions for architects as well as commercial and residential builders. Boral Roofing operates manufacturing plants throughout the US.

#### ABOUT BORAL NORTH AMERICA

Headquartered in Roswell, Georgia, Boral North America is a leader in key construction materials and building products markets with operations across the USA, Canada and Mexico. In 2017 Boral acquired Headwaters Incorporated, expanding Boral's product offering and manufacturing and distribution footprint across North America. In construction materials, Boral has a national footprint and industry-leading position in the processing and distribution of fly ash – a by-product of coal combustion – as well as a Texas-based concrete block business, and Denver concrete and quarries operations.

In building products, Boral manufactures and supplies cladding, roof tiles, windows and other light building products for residential and commercial markets nationally. Boral's manufactured stone veneer includes leading brands Cultured Stone® by Boral®, Boral Versetta Stone®, Eldorado Stone®, Dutch Quality Stone and StoneCraft. Boral's light building products portfolio includes Boral TruExterior® Siding & Trim – a pioneer of the innovative poly-ash category of exterior building products – as well as shutters, gable vents, mounting blocks and tool systems. In roofing, Boral is a leading manufacturer of clay and concrete roof tiles, and also produces composite polymer and stone coated metal roof tiles.

Boral also has a 50% share of the Meridian Brick joint venture, a leading clay and concrete brick manufacturer which was formed with Forterra Brick in 2016.







#### **Classic Slate**

Pitch	Exposure
3:12 (minimum)-up to but not including 5:12	6"
5:12 up to vertical	6", 6.5", 7" or 7.5"

#### Aledora™ Slate

Pitch	Exposure
3:12 (minimum)-up to but not including 5:12	6"
5:12 up to vertical	6", 6.5", 7", 7.5" or 8"

#### Arcella™ Shake

Pitch	Exposure
4:12 (minimum)-up to but not including 5:12	9.25"
5:12 up to vertical	9.25" or 10.25"

\*When a staggered course is desired, the exposure for a designed pitch must use the larger exposure as the maximum.

In regard to roof pitch, all Inspire by Boral products installed from the minimum pitch up to vertical, will achieve recognition of meeting the qualifications for the standard Inspire by Boral warranty.





### Inspire by Boral Roofing Products EXPRESS LIMITED WARRANTY



#### Inspire by Boral Roofing EXPRESS LIMITED WARRANTY

This express limited warranty (the "Warranty") covers the performance of Inspire roofing products (the "Product(s)") manufactured by Boral Roofing LLC ("Boral") or an affiliate of Boral. Boral does not warrant any accessory materials or any products which are not manufactured by Boral and any installation labor provided by others.

#### **Limited Warranty From Certain Defects:**

Boral warrants to the Original Owner, subject to the limitations set forth herein: (a) that for a maximum period of fifty (50) years after the original purchase date of the Product ("Purchase Date"), the Product, under normal use, will be free from the following manufacturing defects: warping, cracking, splitting, rotting, peeling, flaking and blistering; and (b) that for a maximum period of ten (10) years from the Purchase Date, the Product, under normal use, and after removal of foreign surface deposits and based on a comparison between the exposed and unexposed areas of the Product, will not show a color fade in excess of 4 Hunter E Units as a result of normal weathering or ultraviolet exposure.

For purposes of this Warranty, the term "Original Owner" shall mean the owner(s) of the residential-use structure ("Residential Structure") or commercial-use structure ("Commercial Structure") at the time the Product is initially affixed to such structure, unless the applicable structure is new construction and owned by a professional builder or developer for the primary purpose of re-sale, in which event the first subsequent owner(s) of the applicable Residential Structure or Commercial Structure who uses it for its primary intended purpose (i.e., residential use or commercial use) shall be the Original Owner.

This Warranty has been delivered to the Original Owner in connection with the purchase of the Product for use on the Original Owner's Residential Structure or Commercial Structure and remains in effect up to the maximum periods set forth above, but only so long as the Original Owner (or in the event of multiple Original Owners, at least one of the Original Owners) remains the owner of the applicable Residential Structure or Commercial Structure or otherwise transfers the Warranty in accordance with the transferability provisions set forth below.

#### Registration and Transfer of Warranty:

This Warranty may be registered online at www.boralroof. com. Except with respect to the color fade warranty (which is not transferrable by the Original Owner(s)), the Warranty with respect to a Residential Structure may be transferred once within the first five (5) years after the Purchase Date by only the Original Owner(s), and the Warranty with respect to a Commercial Structure may be transferred an unlimited number of times within the first fifteen (15) years after the Purchase Date by either the Original Owner(s) or any successor owners (collectively, all permitted transferee(s), the "Permitted Transferees(s)"), provided that Boral receives electronic notice of the transfer of title of the applicable structure by re-registering the structure online at www.boralroof.com within sixty (60) days of the date of transfer of ownership. For assistance, please contact Boral

at (800) 669-8453 or e-mail askcustomerservice@boral.com. Failure to file the required notice of transfer within such sixty (60) day period shall relieve Boral of any further obligation to the successor owner(s) under the terms of this Warranty. Upon meeting the above conditions of transfer, all warranty periods under this Warranty, except for the color fade warranty, shall be limited in duration to a maximum period of fifty (50) years from the Purchase Date so long as the Permitted Transferee(s) continues to own the applicable Residential Structure or Commercial Structure, and the Permitted Transferee(s) shall be subject to the same Warranty Pro-Ration Actions as the Original Owner(s) as set forth herein. The Permitted Transferee shall not receive warranty coverage hereunder beyond that provided to the Original Owner.

#### **Remedies:**

Except with respect to a defect under the color fade warranty above, if any Product is found to be defective under this Warranty, Boral shall take the following actions (the "Warranty Pro-Ration Actions"):

- If a Warranty claim is made up to and including the seventh anniversary of the Purchase Date, subject to the terms of this Warranty, Boral shall, at its sole option, either:

   (a) provide a replacement Product and pay for all of the replacement labor costs and additional accessories, or (b) refund the amount previously paid by the Original Owner to purchase the defective Product.
- If a Warranty claim is made after the seventh anniversary of the Purchase Date and up to and including the 45<sup>th</sup> anniversary of the Purchase Date, subject to the terms of this Warranty, Boral shall pay an amount equal to the number of months remaining until the 50<sup>th</sup> anniversary of the Purchase Date (to the nearest month) divided by 600, and then multiplied by the amount previously paid by the Original Owner to purchase the defective Product, as illustrated with the following equation:

Number of months remaining until the 50<sup>th</sup> anniversary of the Purchase Date

600

X Cost of the defective Product to the Original Owner

= Warranty Payment

• If a Warranty claim is made after the 45th anniversary of the Purchase Date and up to and including the 50th anniversary of the Purchase Date, subject to the terms of this Warranty, Boral shall pay 10% of the amount previously paid by the Original Owner to purchase the defective Product.

Notwithstanding the above, in no event shall Boral's obligation under the above remedies exceed a maximum of \$350.00 for labor costs per 100 square feet of defective Product. No Product replacement under this Warranty will alter the above Warranty Pro-Ration Actions, the calculation of which shall continue to commence from the Purchase Date.

If any Product is found to be defective under this Warranty with respect to the color fade warranty above, Boral shall replace the defective Product with a replacement Product; however, if a replacement Product does not exist, then Boral shall refund the Original Owner the then-current purchase price for a substantially similar Product.

In the event Boral replaces a defective Product with a replacement Product pursuant to the terms of this Warranty, Boral will attempt to do so with a replacement Product having the same color or design; however, color variations may exist between Products manufactured at different times, and Boral may discontinue or change the design of a particular Product profile. Therefore, it is understood that there may be a color or design difference between the defective Product and any replacement Product provided under the terms of this Warranty.

Any repair or replacement of a defective Product shall not extend the term or coverage of this Warranty. This Warranty shall be void if anyone makes repairs or modification to a Product that is not first approved in writing by Boral, except for necessary emergency repairs.

#### **Specific Exclusions:**

This Warranty does not cover: (a) damage to Product(s) caused during installation or by improper installation (including, but not limited to, failure to install in accordance with appropriate local building codes and acceptable trade practices in the specified area or failure to follow Boral's applicable installation instructions located at www.boralroof.com/resources/ technical-information/; (b) damage to Product(s) caused by either un-vented or improperly vented roof systems, roof traffic or foreign objects falling or settling on the roof (i.e., ash, sap, soot, etc.); (c) damage to Product(s) caused by improper installation of chimneys, furnaces, or other heat sources; (d) damage to Product(s) due to installation of Product(s) at improper temperature (see applicable installation guides); (e) damage to Product(s) caused by hurricanes, tornadoes or other acts of God; (f) damage to Product(s) caused by climatespecific conditions (including, but not limited to, mold, mildew or other growth); (g) damage to Product(s) caused by any failure or movement of any structural elements of the Property; (h) installation labor provided by others; and (i) except as otherwise set forth herein (i.e., the Product(s) will not show a color fade in excess of 4 Hunter E Units as a result of normal weathering or ultraviolet exposure as set forth above), color fading, color changes, staining or variations of the color hue

or physical deterioration of the color for any reasons including, but not limited to, weathering, oxidation, air pollutants, improper cleaning or contact with any metals.

THE FOREGOING IS THE ENTIRE EXPRESS LIMITED PRODUCT WARRANTY OF BORAL FOR THE PRODUCT(S). BORAL HEREBY DISCLAIMS ALL OTHER EXPRESS, IMPLIED OR STATUTORY WARRANTIES WHERE ALLOWABLE BY LAW FOR THE PRODUCT(S), INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE.

LIMITATIONS ON LIABILITY: BORAL SHALL IN NO EVENT BE LIABLE UNDER ANY CIRCUMSTANCES FOR INDIRECT, INCIDENTIAL OR CONSEQUENTIAL DAMAGES, FOR LOST PROFITS OR FOR ANY DAMAGES TO ANY PROPERTY OR ITS CONTENTS OR ITS OCCUPANTS.

No employee, agent or other person or entity is authorized to vary or change the terms of this Warranty either orally or in writing, and any statements contained in Boral's general advertising pamphlets or other printed materials do not constitute a warranty and shall not be binding on Boral except as expressly set forth in this document.

#### Claims Procedure:

Claims under this Warranty will be honored only if the following conditions are met: (1) the Warranty claimant proves that he or she is either the Original Owner(s) or a Permitted Transferee(s), as applicable; (2) proof of the Purchase Date is provided; (3) Boral is notified within thirty (30) days after the facts on which the claim is based became known; and (4) Boral has an opportunity to investigate and approve the claim. Claims may be submitted online at www.boralroof.com/contact/.

This Warranty gives the Original Owner and/or Permitted Transferee(s) covered by this Warranty specific legal rights, and they may have other rights which may vary from state to state. If the laws of a particular state require terms other than or in addition to those contained in this Warranty, this Warranty shall be deemed modified so as to comply with the appropriate laws of such state, but only to the extent necessary to prevent the invalidity of this Warranty or any provision of this Warranty or to prevent the imposition of fines, penalties or any liability.

©Boral Roofing LLC October 2018

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Roofing Contractor	
Date of Installation	

#### ONLINE WARRANTY REGISTRATION

#### Register your warranty online at www.BoralRoof.com

**Note:** The Warranty is not applicable until you register it online and it is received by Boral Roofing and the owner of the tile is in compliance with the conditions of the Warranty.



For further information concerning this Warranty, contact: askcustomerservice@boral.com or call Boral Roofing at (800) 669-8453.

#### ABOUT BORAL ROOFING

Boral Roofing LLC is a subsidiary of Boral USA and is the country's largest premium provider of complete roofing and reroofing solutions for architects as well as commercial and residential builders. Boral Roofing operates manufacturing plants throughout the US.

#### ABOUT BORAL NORTH AMERICA

Headquartered in Roswell, Georgia, Boral North America is a leader in key construction materials and building products markets with operations across the USA, Canada and Mexico. In 2017 Boral acquired Headwaters Incorporated, expanding Boral's product offering and manufacturing and distribution footprint across North America. In construction materials, Boral has a national footprint and industry-leading position in the processing and distribution of fly ash – a by-product of coal combustion – as well as a Texas-based concrete block business, and Denver concrete and quarries operations.

In building products, Boral manufactures and supplies cladding, roof tiles, windows and other light building products for residential and commercial markets nationally. Boral's manufactured stone veneer includes leading brands Cultured Stone by Boral\*, Boral Versetta Stone\*, Eldorado Stone, Dutch Quality Stone and StoneCraft. Boral's light building products portfolio includes Boral TruExterior\* Siding & Trim – a pioneer of the innovative poly-ash category of exterior building products – as well as shutters, gable vents, mounting blocks and tool systems. In roofing, Boral is a leading manufacturer of clay and concrete roof tiles, and also produces composite polymer and stone-coated metal roof tiles.

Boral also has a 50% share of the Meridian Brick joint venture, a leading clay and concrete brick manufacturer which was formed with Forterra Brick in 2016.



800.669.8453 | BoralRoof.com



Download a QR Code reader app for your smartphone, then take a photo to visit our website www.BoralRoof.com















#### **Safety Data Sheet**

SDS # M-00201 Revision Date: 4-22-21

#### 1. Chemical Product and Company Identification

Trade Name: Inspire Classic Slate Class "C" Fire Rated

**Label: Inspire Roofing Products** 

Use and Description: Roofing Product Chemical

Family: Mixture

Contact: Inspire by Boral

29797 Beck Rd.

Emergency Telephone Numbers 1-800-971-4148( 7am- 4pm EST)

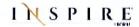
Wixom, MI 48393

#### 2. Composition/Information on Ingredients

Components	Exposure Limits
Polymer	None Established
Mineral Filler	None Established
Pigment Blend	None Established
UV Absorber	None Established
Additives	None Established

#### 3. Hazards Identification

HMIS Rating: NFPA Rating:
Health-1 Health-1
Flammability-1 Flammability-1
Reactivity-0 Reactivity-0





#### MSDS # M-00200

Under normal conditions of use, the product is not expected to create any emergency hazards. Inhalation of product dust may cause temporary upper respiratory irritation- remove affected individual to fresh air.

#### **Eye Contact**

If particles enter eye this may cause irritation resulting in tearing, stinging, redness or swelling. Immediately flush with plenty of clean water for at least 10 minutes.

#### **Skin Contact**

Continued contact may cause skin irritation due to roughness of product. Use leather or cotton gloves if necessary.

#### 4. Fire Fighting

Extinguishing method	H2o Fog , Water Stream
Flash Point	N/A
Flammable Limits	N/A

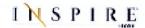
#### 5. Reactivity Data

Specific Gravity	Variable
Solubility in Water	Negligible
Stability	Stable

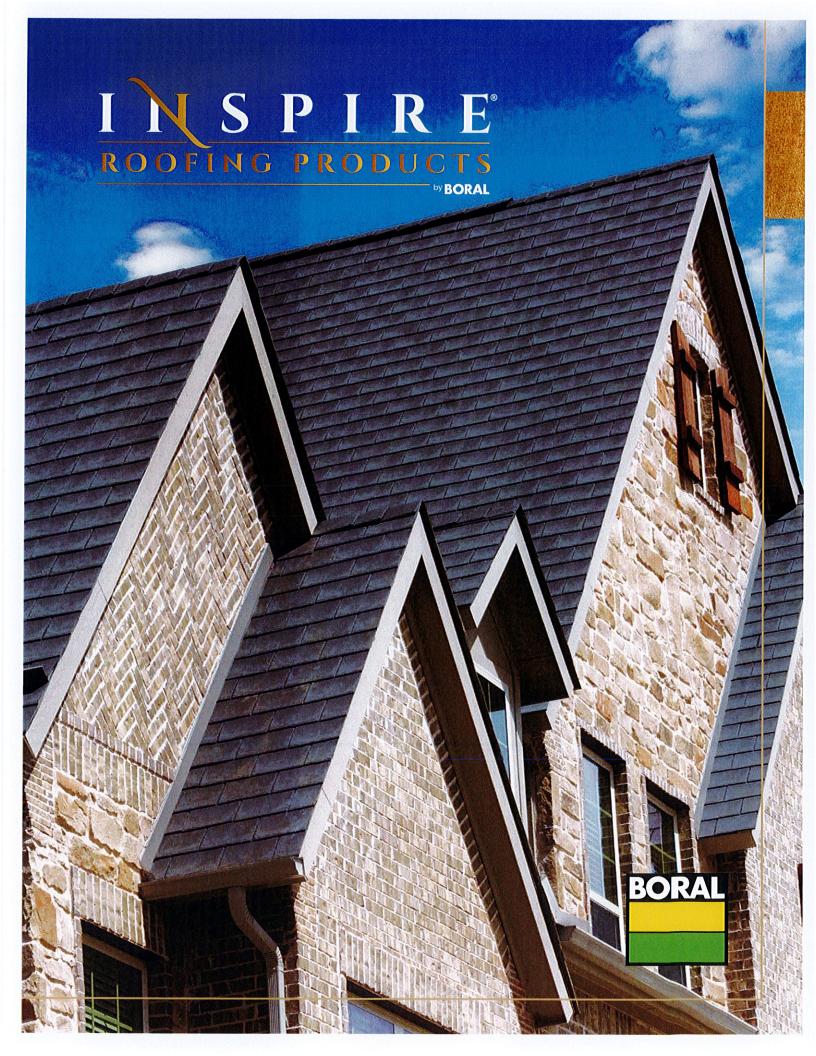
#### 6. Safe Handling

Waste disposal methods in accordance with federal, state and local regulations.

This product is not regulated as a hazardous material for transport.











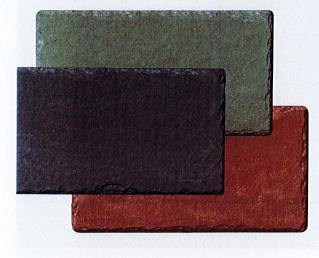
## Classic

### Elegance, Tradition, Performance.

while offering lightweight, low-cost, durability and that epitomizes natural slate roofing. Classic Slate cutting edge, environmentally conscious material natural slates, imparting a controlled uniformity delivers the appearance of a natural slate roof Inspire" Classic Slates' textured surfaces and deckled edges are modeled from authentic technology that goes into every slate.







## Color Mix

Inspire Roofing Products comes factory-sorted and ready for application. Create your own mix bundles prior to installation. Each bundle from Slate mix to create a roofing color palette that is uniquely yours. With Inspire- mixes, there is you to choose up to five colors for a Classic never any need to shuffle tiles from multiple Inspire\* by Boral Color Mix program allows that fits your homes style.





## SLATE



A" CRRC: 0942-0207/Ret : .40/Emi: .93/SRI: 46 C" CRRC: 0942-0201/Ret: .38/Emi: .91/SRI: 43



A\* CRRC; 0942-0208/Ref; 36/Em; .93/SR; 41 C\* CRRC; 0942-0202/Ref; 34/Em; .89/SR; 37

EVERGREEN | 2280 (730) COSTROLL



A\* CRRC; 0942-0209/Refr. 35/Emit. 92/SRt; 39 C\* CRRC; 0942-0203/Refr. 31/Emit. 90/SRt; 33

A\* CRRC 0942-0206 Reft .36/Emi: .92/SRI; 41 C\* CRRC: 0942-0200/Reft .32/Emi: .89/SRI; 34

Beaufitul textured surfaces and edges that impart a controlled uniformity that epitomizes natural state roofing enhance the natural color pallet of our Classic State.



MIST GREY | 5235 (803)



OLIVE | 2270 (814)







## CLASSIC SLATE | COACHMAN

- HUBERT DE GIVENCHY «Luxury is in each detail.»



BRICK RED | 7360 (709)



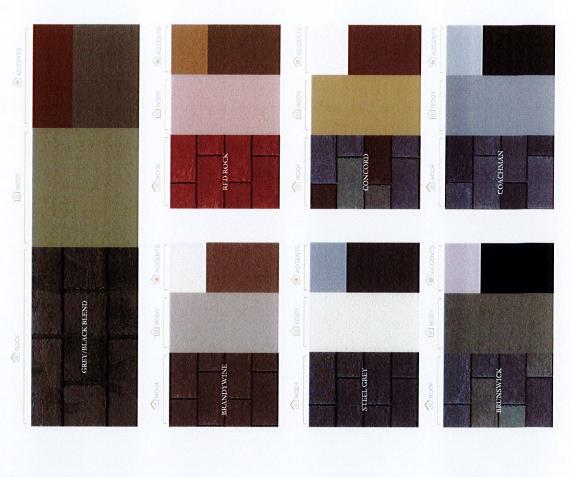
GREY/BLACK BLEND | 1190 (718)

# Classic | Color Combinations

CLASSIC SLATE | STEEL GREY

CONCORD | 5290 (789)

CHESTNUT BROWN | 3600 (712)



Steel Grey (1150), Brandywine (7140), Olive (2270), Sager Green (2260) WINTERGREEN | 5280 (792) COLED

NOTTINGHAM | 5310 (788)

PERFECT PLUM | 7350 (706)

Evergreen (2280), Ash Grey (5205) Granite (1170), Graphite (1160)

Charcoal Black (1160), Steel Grey (1150) Brandywine (7140), Olive (2270)

COACHMAN | 5320 (790)

BRANDY WINE | 7140 (806)

BRUNSWICK | 5340 (791)

colors shown in this brochure may vary from actual available tile colors. Aways use actual product samples for color selec

oal Black (1180), Mist Grey (5235) Steel Grey (1150)

# Classic Slate | Cool Roof Colors

# Sustainability Without Compromise

Inspire" by Boral Classic Slate roofing products offer innovative color technology by reflecting the sun's energy and keeping your home cooler, hence reducing the need for air conditioning while lowering its You do not have to compromise the beauty of your home to be sustainable. Inspire® by Boral Classic consumption by as much as 15%, as stated by the Cool Roof Rating Council and ENERGY STAR. Slate Rooting Products offers a wide palette of Cool Roof Colors that promote environmentally sustainable living. This is achieved by decreasing your home's carbon footprint and energy carbon footprint and heat island effect.



### Cool Roof ASH GREY | 5205 (731)

Coal Roof



A\* CRRC: 0942-0209/Rof: .35/Emi: .92/SRI: 39 C\* CRRC: 0942-0203/Rof: .31/Emi: .90/SRI: 33

A\* CRRC: 0942-0207/Ret; 40/Emi: 93/SRI: 46 C\* CRRC: 0942-0201/Ret; 38/Emi: 91/SRI: 43

God Roat

EVERGREEN | 2280 (730)





A" CRRC: 0942-0208/Reft .36/Emir .93/SRI; 41 C" CRRC: 0942-0202/Reft .34/Emir .89/SRI; 37



A\* CRRC: 0942-0206/Ref\* :36/Entr.:92/SR: 41 C\* CRRC: 0942-0200/Ref\* :32/Entr.:89/SR: 34



Evergreen (2280), Ash Grey (5205) Grante (1170), Graphite (1160)

## Specifications

Class A: Item #4IFZE**** Class C: Item #4IFUE****	Exposure	Width	Height		Piece	Bundle	Square	Pallet	Truck
	Max: 7-1/2" Can be installed at 6" to 7-1/2"	12*	18"	Weight	1.5 lbs.	38 lbs.	240 lbs.	2,400 lbs.	2,400 lbs. 42,500 lbs.
				Pieces	-	25	160	1,600	28,000
-				Bundles	1	1	6.4	64	1,120
				Squares	1	1	1	10	175
				Pallets	1	1	1	1	18

# CLASSIC SLATE - HIP AND RIDGE

Class A - Item #4IKZEA Class C - Item #4IKUEA										
	Height	Weight / W Piece B	Weight / Bundle	Veight / Pieces / Bundle Bundle	Weight/ Pieces/ Class A - Hem #4INZEA Bundle Bundle Class C - Hem #4INUEA	Width	Length	Exposure	Preforme	d Pitch
12.	12" 13-1/2" 1 lbs. 25 lbs	-1 Bs.	25 lbs	52		12"	18"	.5'9	3/12 - 18/12	18/12
Plece	Pieces / Liner Feet / Bundle	oot Li	ner Feet /	Bundle	0	Weight / Piece	Weight / Bundle	Pieces / Bundle	Pieces / Liner Foot	iner Feet / Bundle
	÷		25		e e	1.5 lbs.	1.5 lbs. 38 lbs.	25	1.6	15.6

TEST	TESTING PERFORMED	RESULTS FOR
Fire Rating	In accordance with UL/790 / ASTM E108	Class A* or Class C Fire Rated System. (Depending on system)
Hall Rating	In accordance with UL2218	Class 4
Accelerated Ultra Violet Exposure	In accordance with ASTM G154 Xenon Arc Chamber 9,500+ hours	Tile exhibited virtually no fade and with no trace of cracking, spalling or deformation.
Wind Driven Rain / Wind Uplift	In accordance TAS 100-95; UL 580	Up to 110 mph. No water inflitration through sheathing. No tiles blew off, tore or blew upward.
Freeze-Thaw Cycle	In accordance with ASTM C666/C666M	No signs of damage or cracking after 300+ cycles.
Water Absorption	In accordance with ASTM C272	No appreciable weight gain.
Water Permeation	In accordance with ASTM E96/E96M	Tile shown to be impermeable per ASTM test methods.
Annovals: Florida Bullding Code	Annuale: Florida Buildinn Pode On El 11740 El 115050 El 115050 Tourn Bonnesses de Language de Cartes Anna Anna Anna Anna Anna Anna Anna Ann	A A A CITATION OF GOOD AND TO A

Please refer to our website for installation guides.

Contact Inspire Roding Products for specific application requirements for UL Class A Fire rated systems. \*\*\*\* Indicates color number.

Cover: Classic | Granite

#### ABOUT BORAL ROOFING

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In building products. Boral manufactures and supplies cladding, roof tiles, windows, and other light building products for residential and commercial markets nationally. Boral's manufactured stone veneer includes leading brands Cultured Stone® by Boral®, Boral Versetta Stone®, Eldorado Stone®, Dutch Quality Stone®, and StoneCraft Industries®. Boral's light building products portfolio includes Boral TruExterior® Siding & Trim – a pioneer of the innovative poly-ash category of exterior building products – as well as shutters, gable vents, mounting blocks, and tool systems. In roofing, Boral is a leading manufacturer of clay and concrete roof tiles, and also produces composite polymer and stone-coated metal roof tiles.

Boral also has a 50% share of the Meridian Brick joint venture, a leading clay and concrete brick manufacturer which was formed with Forterra Brick in 2016.

BoralAmerica.com



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#### **TECHNICAL BULLETIN**

#### **CLASSIC SLATE WIND LOAD PERFORMANCE**

Inspire by Boral Inspire roof tiles have been tested and have passed all requirements in accordance with Miami-Dade County Protocol TAS 100-95 –Test Procedure for Wind and Wind Driven Rain Resistance of Discontinuous Roof Systems. For general information, this protocol is designed to test roofing products at wind speeds equivalent to 110 mph.

The Classic Slate has been tested to perform in conditions of up to 129.6psf combined wind load for 7" exp. As a result of additional calculations and in connection to ANSI wind design standards, increased wind load capacities for Inspire by Boral Classic Slate Roofing Tiles are determined to be as follows: (all designs are as a corner detail)

7.5" Expos	sure	7" Exposu	re
110 MPH*	exp. B up to a max mean roof height of 500'**	110 MPH*	exp. B up to a max mean roof height of 500'**
110 MPH*	exp. C up to a max mean roof height of 500'***	110 MPH*	exp. C up to a max mean roof height of 500'***
110 MPH*	exp. D up to a max mean roof height of 500'****	110 MPH *	exp. D up to a max mean roof height of 500'****
120 MPH*	exp. B up to a max mean roof height of 500'**	120 MPH*	exp. B up to a max mean roof height of 500'** exp. C up to a max mean roof height of 450'*** exp. D up to max mean roof height of 300'****
120 MPH*	exp. C up to a max mean roof height of 350'***	120 MPH*	
120 MPH*	exp. D up to max mean roof height of 200'****	120 MPH*	
130 MPH*	exp. B up to a max mean roof height of 300'** exp. C up to a max mean roof height of 160'*** exp. D up to max mean roof height of 90'***	130 MPH*	exp. B up to a max mean roof height of 400'**
130 MPH*		130 MPH*	exp. C up to a max mean roof height of 200'***
130 MPH*		130 MPH*	exp. D up to max mean roof height of 100'****
140 MPH*	exp. B up to a max mean roof height of 200'** exp. C up to a max mean roof height of 80'*** exp. D up to max mean roof height of 60'***	140 MPH*	exp. B up to a max mean roof height of 200'**
140 MPH*		140 MPH*	exp. C up to a max mean roof height of 100'***
140 MPH*		140 MPH*	exp. D up to max mean roof height of 60'****
150 MPH *	exp. B up to a max mean roof height of 120'**	150 MPH*	exp. B up to a max mean roof height of 140'** exp. C up to a max mean roof height of 60'*** exp. D up to max mean roof height of 40'***
150 MPH*	exp. C up to a max mean roof height of 60'***	150 MPH*	
150 MPH*	exp. D up to max mean roof height of 30'****	150 MPH*	
160 MPH*	exp. B up to a max mean roof height of 70'**	160 MPH*	exp. B up to a max mean roof height of 90'** exp. C up to a max mean roof height of 50'*** exp. D up to max mean roof height of 20'****
160 MPH*	exp. C up to a max mean roof height of 40'***	160 MPH*	
160 MPH*	exp. D up to max mean roof height of 15'****	160 MPH*	
170 MPH* 170 MPH*	exp. B up to a max mean roof height of 60'** exp. C up to a max mean roof height of 20'***	170 MPH* 170 MPH*	exp. B up to a max mean roof height of 60'** exp. C up to a max mean roof height of 30'***
180 MPH*	exp. B up to a max mean roof height of 50'**	180 MPH* 180 MPH*	exp. B up to a max mean roof height of 60'** exp. C up to a max mean roof height of 15'***
	110 MPH* 110 MPH* 110 MPH* 120 MPH* 120 MPH* 120 MPH* 130 MPH* 130 MPH* 140 MPH* 140 MPH* 150 MPH* 150 MPH* 150 MPH* 160 MPH* 160 MPH* 170 MPH*	exp. C up to a max mean roof height of 500'***  120 MPH*  exp. B up to a max mean roof height of 500'***  exp. C up to a max mean roof height of 500'**  120 MPH*  exp. B up to a max mean roof height of 350'***  exp. D up to max mean roof height of 300'**  exp. D up to a max mean roof height of 300'**  130 MPH*  exp. B up to a max mean roof height of 160'***  exp. D up to max mean roof height of 90'***  140 MPH*  exp. B up to a max mean roof height of 200'**  exp. C up to a max mean roof height of 80'***  exp. D up to max mean roof height of 60'***  150 MPH*  exp. B up to a max mean roof height of 60'***  exp. D up to max mean roof height of 30'***  150 MPH*  exp. B up to a max mean roof height of 30'***  exp. D up to max mean roof height of 30'***  exp. D up to max mean roof height of 120'**  exp. D up to max mean roof height of 15'****  170 MPH*  exp. B up to a max mean roof height of 60'**  exp. D up to max mean roof height of 15'****  exp. B up to a max mean roof height of 15'****  exp. D up to max mean roof height of 60'**  exp. D up to max mean roof height of 60'**  exp. D up to max mean roof height of 60'**  exp. D up to max mean roof height of 60'**  exp. D up to max mean roof height of 60'**  exp. D up to max mean roof height of 60'**  exp. C up to a max mean roof height of 60'**  exp. C up to a max mean roof height of 60'**  exp. C up to a max mean roof height of 60'**	110 MPH*       exp. B up to a max mean roof height of 500***       110 MPH*         110 MPH*       exp. C up to a max mean roof height of 500****       110 MPH*         110 MPH*       exp. D up to a max mean roof height of 500****       110 MPH*         120 MPH*       exp. B up to a max mean roof height of 500****       120 MPH*         120 MPH*       exp. C up to a max mean roof height of 350****       120 MPH*         120 MPH*       exp. D up to max mean roof height of 200****       120 MPH*         130 MPH*       exp. B up to a max mean roof height of 300***       130 MPH*         130 MPH*       exp. C up to a max mean roof height of 160****       130 MPH*         140 MPH*       exp. B up to a max mean roof height of 90****       140 MPH*         140 MPH*       exp. C up to a max mean roof height of 80****       140 MPH*         140 MPH*       exp. D up to max mean roof height of 60****       140 MPH*         150 MPH*       exp. D up to max mean roof height of 60****       150 MPH*         150 MPH*       exp. D up to max mean roof height of 60****       150 MPH*         150 MPH*       exp. D up to max mean roof height of 40****       150 MPH*         150 MPH*       exp. D up to max mean roof height of 50****       160 MPH*         160 MPH*       exp. D up to a max mean roof height of 50****       160 MPH*

#### 6.5" Exposure (calculated) 6" Exposure (calculated) 110 MPH\* exp. B up to a max mean roof height of 500'\*\* 110 MPH\* exp. B up to a max mean roof height of 500'\*\* 110 MPH\* exp. C up to a max mean roof height of 500'\*\*\* 110 MPH\* exp. C up to a max mean roof height of 500'\*\*\* 110 MPH\* exp. D up to a max mean roof height of 500'\*\*\*\* 110 MPH\* exp. D up to a max mean roof height of 500'\*\*\*\* 120 MPH\* exp. B up to a max mean roof height of 500'\*\* 120 MPH\* exp. B up to a max mean roof height of 500'\*\* 120 MPH\* exp. C up to a max mean roof height of 500'\*\*\* 120 MPH\* exp. C up to a max mean roof height of 500'\*\*\* 120 MPH\* exp. D up to max mean roof height of 500'\*\*\*\* 120 MPH\* exp. D up to max mean roof height of 500'\*\*\* 130 MPH\* exp. B up to a max mean roof height of 500'\*\* 130 MPH\* exp. B up to a max mean roof height of 500'\*\* 130 MPH\* exp. C up to a max mean roof height of 400'\*\*\* 130 MPH\* exp. C up to a max mean roof height of 500'\*\*\* 130 MPH\* exp. D up to max mean roof height of 250'\*\*\*\* 130 MPH\* exp. D up to max mean roof height of 400'\*\*\*\* 140 MPH\* exp. B up to a max mean roof height of 400'\*\* 140 MPH\* exp. B up to a max mean roof height of 500'\*\* 140 MPH\* exp. C up to a max mean roof height of 2001\*\*\* 140 MPH\* exp. C up to a max mean roof height of 250'\*\*\* 140 MPH\* exp. D up to max mean roof height of 100'\*\*\*\* 140 MPH\* exp. D up to max mean roof height of 160'\*\*\*\* 150 MPH\* exp. B up to a max mean roof height of 250'\*\* 150 MPH\* exp. B up to a max mean roof height of 300'\*\* 150 MPH\* exp. C up to a max mean roof height of 100'\*\*\* 150 MPH\* exp. C up to a max mean roof height of 140'\*\*\* 150 MPH\* exp. D up to max mean roof height of 60'\*\*\*\* 150 MPH\* exp. D up to max mean roof height of 70'\*\*\*\* 160 MPH\* exp. B up to a max mean roof height of 160'\*\* 160 MPH\* exp. B up to a max mean roof height of 200'\*\* 160 MPH\* exp. C up to a max mean roof height of 60'\*\*\* 160 MPH\* exp. C up to a max mean roof height of 70"\*\*\* 160 MPH\* exp. D up to max mean roof height of 50'\*\*\*\* 160 MPH\* exp. D up to max mean roof height of 60'\*\*\*\* 170 MPH\* exp. B up to a max mean roof height of 100'\*\* 170 MPH\* exp. B up to a max mean roof height of 120'\*\* 170 MPH\* exp. C up to a max mean roof height of 60'\*\*\* 170 MPH\* exp. C up to a max mean roof height of 60"\*\*\* 170 MPH\* exp. D up to max mean roof height of 25"\*\*\*\* 170 MPH\* exp. D up to max mean roof height of 30"\*\*\*\* 180 MPH\* 180 MPH\* exp. B up to a max mean roof height of 80'\*\* exp. B up to a max mean roof height of 70'\*\* 180 MPH\* 180 MPH\* exp. C up to a max mean roof height of 40'\*\*\* exp. C up to a max mean roof height of 30'\*\*\* 180 MPH\* exp. D up to max mean roof height of 15'\*\*\*\*

Based on calculations, Inspire by Boral roofing tiles are approved for installation in all US coastal zones outside Miami-Dade County Jurisdiction – including but not limited to The 2017 Florida Building, and The Texas Department of Insurance jurisdictions.

The roof tile test applications were performed using galvanized, ring shank nails (minimum 1.5" in length with 1/8" diameter shank, and 3/8" diameter head) on a minimum slope roof deck of 4:12.



<sup>\*</sup>Wind zone areas are defined as Basic Wind speed in MPH determined by American Society of Civil Engineers (ASCE) 7-98 – Minimum design load for Buildings and Other Structures.

<sup>\*\*</sup>Exp. B - defined by code as urban and suburban also to encompass wooded areas.

<sup>\*\*\*</sup>Exp. C - defined by code as open terrain with scattered obstructions.

<sup>\*\*\*\*</sup>Exp. D -defined by code as open terrain with no obstructions.



## HOTEL GUESTHOUSE (B&B) REGISTRATION

Craig Burns	and Cynthia Paris ide Ave	d/b/a Craig	and Cynthia Paris 45
	ZONING FIRE MARSHAL BUILDING OFFI		
RECO	OMMEND:		
XXXX	APPROVE		Number of Rooms
The second secon	DISAPPROVE		eranisan Pala dayi
	(When responding to C	lerk's Office, plea	se check off from whom

(When responding to Clerk's Office, please check off from whom and sign bottom of form)

COMMENTS: Renewal - No	Changes
Reviewed prior applications	Approved by Zoning.

Kerin P. Seellvan Signature 10-26-2021

#### CITY OF NEWPORT, RHODE ISLAND CERTIFICATE OF TRANSIENT GUEST FACILITY (RENTALS FOR 30 DAYS OR LESS)

RECEIVED

OCT 2 2 2021 Address of Establishment: 45 Burnside Ave d/b/a: Craig and Cynthia Paris CITY CLERK'S OFFICE Zoning District: R10 Is the property a house? Yes \_\_\_\_\_ No\_\_\_\_ Type: \_ Hotel: \_\_\_\_\_Apartment: \_\_\_\_\_Condo: \_\_\_\_\_Other: \_\_\_ (Single family, two family, etc.). Number of Rooms: \_\_\_\_\_ Maximum Number of Guests: \_\_\_\_\_ Do you reside at the property during the rental period? Yes \_\_\_\_\_No\_\_\_ Do you use a hosting platform for rentals (Airbnb, vrbo, etc.?) Yes\_\_\_\_\_ No\_\_\_\_ (If yes, please specify below) Are you a "room reseller" (Expedia, Travelocity, etc.)? Yes\_\_\_\_\_ No\_\_\_\_\_ No\_\_\_\_ Owner Name: Craig and Cynthia Paris Owner Address: 45 Burnside Ave Owner Telephone Number(s): (201) 225-6622 Email address: Paris 175@ aol. com Operator/Manager Name: Operator/Manager Address: 45 Buraside Ave Operator/Manager Telephone Number(s): (40/) 225-6622 I hereby certify the following taxes will be collected and remitted: due on the room sales for each room collected by the establishment and forwarded to the RHODE ISLAND DIVISION OF TAXATION. Rooms Tax: (Rental of rooms for less than 30 days) REMITTED TO NEWPORT TAX COLLECTOR Local Tax: (Resident dwelling rented in its entirety; house, apartment, condo, cottage etc.) REMITTED TO THE NEWPORT TAX COLLECTOR ALL TAXES AND UTILITY CHARGES MUST BE PAID UP TO DATE BEFORE ISSUANCE OF CERTIFICATE. THE PAYMENT OF ROOM TAXES MUST BE KEPT CURRENT ON A MONTHLY BASIS TO MAINTAIN VALID **EFFECTIVE JUNE 1, 2021 TO MAY 31, 2022** POST IN PLAIN VIEW IN THE LOBBY OF ENTRANCE AREA I hereby certify that the above information is correct and I understand that any false statements made herein are subject to penalties under law as required by Section 44-18-18 of the R.I. General Laws: Authorized Signature \$15.00 Filing fee: 10-27. \$100.00 Registration fee: /0-72.7/ CITY CLERK OFFICE USE ONLY: RENTAL CODE